

Health Care District of Palm Beach County

Crisis Center for Behavioral Health and Substance Abuse

Property Address: 100 N Benoist Farm Road, West Palm Beach, FL 33411



SITE ASSESSMENT ZONING & PLANNING REQUIREMENTS REPORT

March 30, 2025

FINAL REPORT - Benoist

SMA #2024-135

By



TABLE OF CONTENTS

Section 1:	<u>Project Background and Scope of Work</u>
Section 2:	<u>Applicable Building Codes and Physical Plant Requirements</u> <ul style="list-style-type: none">2.1.1 Florida Building Code, 2023 Edition2.1.2 NFPA 101 – Life Safety Code, 2022 Edition2.1.3 Florida Administrative Code2.1.4 Florida Statutes2.1.5 Guidelines for the Design and Construction of Hospitals, 2022 Edition2.1.6 Licensure2.1.7 Palm Beach County Unified Land Development Code Sections
Section 3:	<u>Site Information</u> <ul style="list-style-type: none">3.1 Summary3.2 Site Description3.3 Future Land Use and Zoning
Section 4:	<u>Property Development Regulations and Site Requirements</u> <ul style="list-style-type: none">4.1 Development Requirements4.2 Access to Property<ul style="list-style-type: none">4.2.1 Benoist Farms Road4.2.2 Hooper Road4.2.3 Traffic Concurrency4.3 Utilities<ul style="list-style-type: none">4.3.1 Sanitary Sewer4.3.2 Water4.3.3 Water and Sanitary Sewer Permitting4.3.4 Water and Sanitary Sewer Easements4.3.5 Stormwater Management
Section 5:	<u>Review of Environmental Factors</u>



Section 6:

Conceptual Development Plans

- 6.1 Required Program and Distribution of Functional Areas Per Level**
- 6.1 Urban Option – Conceptual Development Plan Option #1 (2-story)**
- 6.2 Suburban Option – Conceptual Development Plan Option #2 (1-story)**
- 6.3 Extraordinary Site-Specific Development Costs**

Section 7:

Recommendations

- 7.1 Selecting a Development Option that Balances Functionality and Future Expansion**
- 7.2 Site Assessment Conclusions**

Attachments

- Exhibit A: Enlarged Zoning Map**
- Exhibit B: Phase 1 Environmental Site Assessment**
- Exhibit C: Environmental Feasibility Report**



Section 1: Project Background and Scope of Work

On December 14, 2023, the Health Care District Board presented an update on the Behavioral Health Center Feasibility Study, prepared by Initium, to the “Crisis Now Model”. It recommends the development of a program and the creation of a facility that will provide 24/7/365 mental health services which, at a minimum, includes a Countywide Centralized Receiving Facility (CRF), and Crisis Stabilization Unit (CSU) including a 23-hour observation unit.

On December 2024, the Health Care District Board of Palm Beach County (HCD) engaged Saltz Michelson Architects to assess the feasibility of developing a new behavioral health crisis stabilization Facility at 100 N. Benoist Farms Rd., West Palm Beach, FL. The study evaluates the site’s suitability, zoning compliance, environmental constraints, and development options. HCD is currently in a pre-purchase due diligence phase, and ultimately negotiations to acquire the property if determined to be most desirable to meet the District’s facility objectives, making this assessment critical for informed decision-making. Specifically, the scope of work was as follows.

- Utilize the approved conceptual programming and work-flow information developed in an earlier task, prepare a proposed plan of development, complying with the program, development regulations, access and circulation requirements, and drainage.
- Ensure that the project complies with local zoning codes, ordinances, and any newly introduced regulatory requirements.
- Review the Comprehensive Plan designation, zoning designation and property regulations, including those that may be specific property and any current approvals on the site.
- Review HCD’s future needs analysis and apply to the property and any studies currently available for the property.
- If the CBHC (or other element) cannot be accommodated, identify the total interior and exterior requirements that will need to be accommodated elsewhere.
- Identify any existing regulations (both medical or land development) that would materially hinder or constrain development (either physically or financially), including a rough order of magnitude of the extent.



- Identify any variances, special exceptions, etc. that will be required because of sitting the CRF/CSU and potentially the CBHC on that site.
- Review of Environmental and Logistical Factors
The basis of this report's assessment is a new facility of approximately 58,000 S.F. - 60,000 S.F. of building area (one or two-story) and a parking area for approximately 200 to 290 spaces. The plan will also need to incorporate stormwater management areas, two drop-off areas, an outdoor client area, loading area, dumpster area, fire lane and landscaped area. The conceptual development plan will also examine applicable physical plant and operational regulation to determine any limitations or constraints.

2.1 Section 2: Applicable Building Codes and Physical Plant Regulations

2.1.1 Florida Building Code, 2023 Edition:

- Chapter 3 - Use and Occupancy, Section 308.4, both the CFR/CSU are classified as an Institutional I-2 Occupancy (this assumes that 5 or more people could be incapable of self-preservation). The CFR/CSU needs to be a locked and secure facility.
- Chapter 4 – Special Detailed Requirements Based on Occupancy and Use, Section 457 – Mental Health Programs.

2.1.2 NFPA 101 – Life Safety Code, 2022 Edition:

- Chapter 18 – New Health Care Facilities

2.1.3 Florida Administrative Code:

- Rule 65E-12 - Public Mental Health Crisis Stabilization Units and Short-Term Residential Treatment Programs.
- 2.1.8 FAC 65E-12.106 (Florida Administrative Code)
Division 65E – Mental Health Programs Regulations
Common Minimum Program Standards

2.1.4 Florida Statutes:

- Chapter 394 – Mental Health

2.1.5 Guidelines for the Design and Construction of Hospitals, 2022 Edition:



- Chapter 2.5 – Specific Requirements for Behavioral Health Facilities (to be confirmed by AHCA).

2.1.6 Licensure:

- Beds and New Mental Health Facility must be licensed with AHCA and the State of Florida.

2.1.7 Palm Beach County Unified Land Development Code Sections:

- Chapter B: Parking and Loading Section 1 : Calculation
- Chapter C: Standard Districts
- Chapter D: Section 1-A PDR for Standard Zoning Districts
 Section 1-B.3 General Exceptions PO District

Section 3: Site Information

3.1 Summary

Address:	100 N Benoist Farm Road, West Palm Beach, FL 33411
Municipality:	Unincorporated
Parcel:	00-42-43-27-05-006-3100
Plat:	The Palm Beach Farms CO Plat No. 3 Tract 31 in Block 6, Plat Book 2, Pages 45 to 54
Zoning:	IL- Light Industrial (00-Unincorporated)
Future Land Use:	IND – Industrial
Lot Area:	9.67 Acres /421,415 SF
Lot Elevation:	17' to 29' NGVD (18' Above Sea-Level)
Max. Building Height:	35' maximum (for taller buildings, increase setbacks one foot for each additional foot of height)
Max. Lot Coverage:	45% *= 421,415 x .45 = 189,637 SF
Public Utility:	Palm Beach County
Water Management:	South Florida Water Management District (SFWMD) C-51 Drainage Basin
Required Setbacks:	Front: 40' Sides: 15' Side Street: 25' Rear: 20'
Flood Zone:	AE and X



3.2 Site Description

The Benoist Site is located on the east side of North Benoist Farms Rd, 400 feet north of Southern Blvd (aka SR 80 and US Highway 98), in an area of unincorporated Palm Beach County. The address is 100 North Benoist Farms Rd, West Palm Beach, FL 33411. The Benoist Site is a square shaped parcel containing 9.67 acres. The property was previously used by the Palm Beach Kennel Club for racing dog kennels and training and most recently truck storage. Existing on this site are 15 small wood structures built in 1965, a small old lift station, and an existing culvert crossing over LWDD, E-2 canal.

The Benoist Site is surrounded by undeveloped and developed industrial uses as well as commercial uses such as gas stations/convenient stores.

As noted in the Phase 1 Environmental Assessment prepared on March 17, 2025 (V. 1.1), significant vegetation clearing has occurred over the past two years. This clearing created a large storage area for trailers and trucks in the property's northern section. Additionally, the existing wet retention area has been reduced due to vegetation removal. See pictures below:



Aerial View 2022 (Bureau Veritas)



Aerial View 2025

From the middle to the southern portion of the property, there are fifteen existing one-story wood structures used in the past as dog kennels, along with a guardhouse and a storage facility currently in use.

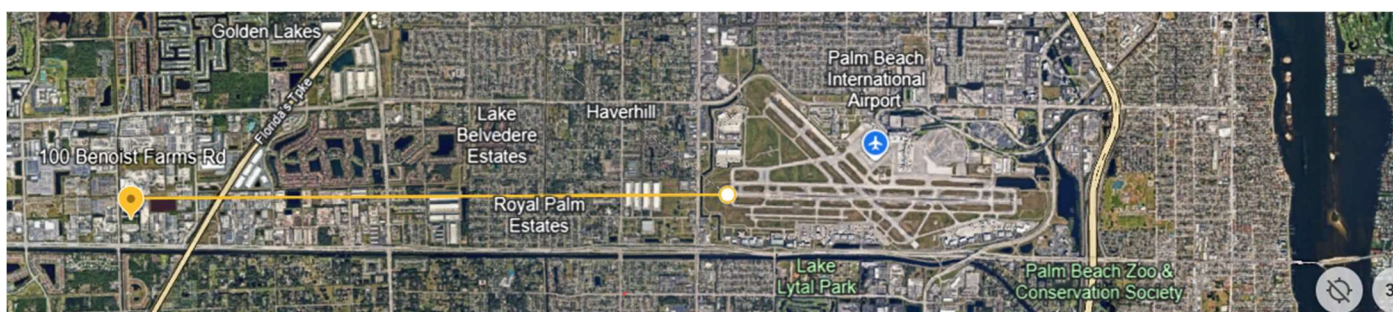


Along the front property line on N. Benoist Farms Road, a fenced area designates an easement for the Lake Worth Drainage District (O.R. 18694 PG. 282).

*Note: Previous survey from Bock ad Clark Corporation shows 9.47 acre (matching with property appraiser details), instead of 9.67 acre.

Distance from Palm Beach International Airport:

The site is located 20,000 feet from the main runway of Palm Beach International International Airport, aligned to the west of the runway. Height regulations apply only within 10,000 feet of the airport, meaning they do not affect this property.



Caption: The aerial view depicts the distance from the head of runway to the assessed property (20,000 feet).

3.3 Future Land Use and Zoning

The County's Comprehensive Plan does not prohibit government services from being sited in any Industrial FLU. Specifically, Policy 2.2.8-d of the Comprehensive Plan states *"The County shall maintain the Unified Land Development Code to provide for zoning districts to accommodate health and human service needs such as hospitals, public clinics, emergency health shelters, childcare facilities, adult day care facilities, group homes, foster homes, congregate living facilities and other residential care."*

This policy is implemented in the Unified Land Development Code (ULDC) by stating *"In addition to the industrial uses, the land uses listed below are allowable within the Industrial future land use designations as permitted by the ULDC: 5. Institutional and Public Facilities;"* Policy 2.2.4-e.

The site is currently zoned as IL (Light Industrial)*. Given that this facility will be developed by the Health Care District of Palm Beach County, the use of



the facility may be classified as Government Services. This use category is simply defined as “Buildings or facilities owned or operated by a government entity and providing services for the public, excluding utility and recreational services, and Prisons, Jails, or Correctional Facilities”. Under this definition, a facility owned by HCD, as a government entity, is classified as government services use. Government Services uses are permitted by right in IL and thus, no rezoning would be required but the development must be able to meet all property development regulations of the IL zoning district.

Section 4: Property Development Regulations and Site Requirements

4.1 Development Requirements

The proposed facility will be approximately 58,000–60,000 SF, with a parking requirement ranging from 118 to 299 spaces, depending on final classification.

Key site elements include two designated drop-off areas, an outdoor client space, a loading area, a fire lane, and landscape buffers. The current IL zoning district regulations limit the maximum building height to two stories or 35 feet, with a maximum lot coverage of 45%. The existing parking requirement for IL is one parking space per 200 square feet (299 spaces).

The parking requirements for Government Services instead are 1 space per 500 square feet. For a 59,800 square foot facility, the required parking space would be 118 spaces.

Table 3
 Summary of Maximum Areas per Regulations (IL)

Lot Area of Assessed Property	421,415 SF
Maximum Lot Coverage Permitted (45%)	189,637 SF
Minimum Pervious Area Permitted	231,778 SF
Wet Retention Requirements (20% approx..)	84,283 SF

Note: Options 1 and 2 comply with regulations



4.2 Access to Property

4.2.1 Benoist Farms Road

Benoist Farms Road is a County Rd currently being upgraded from its existing cross section. The new design utilizes the full existing 80-foot right-of-way, featuring two lanes in each direction separated by a concrete median. The project is under construction.

The existing unpermitted vehicular bridge spanning over the existing canal from Benoist Farms Rd, is in poor condition and too narrow to meet current cross section requirements. According to the latest approved site plan* for the property, Palm Beach County required that the existing bridge be decommissioned and replaced by a new one, meeting the current LWDD requirements.

Further, the ongoing upgrade and widening to Benoist Farms Rd only provides for a median opening providing for north and southbound access and aligns with the existing street on the west side of Benoist Farms Rd. Because of this, the new bridge should provide a 26-foot-wide pavement and a six-foot-wide sidewalk on each side. Conceptual Site Development Options 1 and 2 incorporate this new bridge as the main entrance to the future facility.

Estimated cost of the new Bridge: \$1,300,000.

*Previous Yard Project: Permit drawings were approved in 2023 (Smith & Nichols Landscapers and Urban Planners)

4.2.2 Hooper Road:

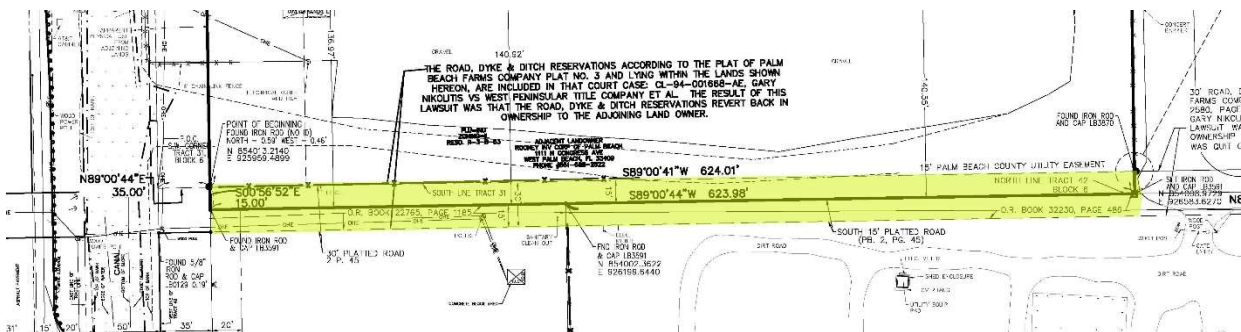
Hooper Road is a 30-foot-wide asphalt road with unimproved sections. It is a public road but privately maintained. The road currently terminates at the southeast corner of the property, where the asphalt ends. According to a 2022 survey, the southernmost 15 feet of the Benoist property was quitclaimed to Palm Beach County in 2002 for right-of-way (R.O.W.) purposes. Through a lawsuit, the R.O.W. portion was quitclaimed back to the landowners, with the West Peninsular Title Company releasing its interest rights, leaving the property as part of the landowners' holdings.



During a recent meeting with County staff, it was discussed that Staff would consider a controlled secondary access for staff and emergency response vehicles from Hooper Road. Expanding Hooper Road westward to create a secondary entrance is already incorporated into the two site development options outlined in Section 6.

The connection to Hooper Rd to the Property for secondary access would extend 15 feet into the Benoist property and 15 feet into the adjacent property to the south, aligning with the existing road (ideally with 12-foot-wide lanes in each direction). With the south side of the property being considered a side street setback, the setback is designated as 25 feet. The estimated cost for the extension is approximately \$200,000, covering the creation of access to Hooper Road and upgrades to the existing roadway at the connection point.

However, an alternative design could be developed providing both primary and secondary access from Benoist Farms Rd , provided sufficient circulation, access, and environmental considerations are addressed. This approach would help mitigate potential conflicts with the neighboring property owner but would add an additional estimated cost of \$1,300,000 for another bridge over the LWDD canal



Note: The highlighted section of Hooper Road consists of a 30-foot Right-of-Way (ROW). Of this, 15 feet remain part of the Benoist property, while the remaining 15 feet fall under the adjacent property to the south.

4.2.3 Traffic Concurrency

As part of the site plan review process the Palm Beach County Traffic Division will review a traffic study prepared by the applicant. The traffic study will evaluate how many traffic trips will be generated by the project in terms of daily total traffic and traffic during the AM and PM peak hour periods. Depending on the volume of traffic expected to be generated by



the project, the County Traffic Division may request additional information such as traffic counts or analyses of certain intersections to determine if the operation of a certain intersection will operate at an acceptable level of service once the project is built. At the conclusion of the site plan review process the County Traffic Division will issue a letter stating that the project meets the Traffic Performance Standards (TPS) of the County. This TPS letter is the traffic concurrency approval for the project.

This issue is being pursued further, and additional information may be added to this report via revision if determined necessary by HCD.

4.4 Utilities

The property is located within the authority of Palm Beach County Water Utilities Department (PBCWUD). Water and sewer capacity whereas confirmed for the proposed improvements from 2023. A new capacity request for a water and sewer service to PBCWUD will be required.

4.3.1 Sanitary Sewer

The closest available sanitary sewer line is an existing 8" force main along the west side Benoist Farms Road. The proposed sanitary sewer improvements for the project will require a system of sanitary lines services and mains with a connection to a new on-site lift station. The new lift station will discharge to the existing 8" force main. Sanitary sewer improvements will be required to be designed and constructed in accordance with PBCWUD requirements. There is an existing sanitary sewer lift station located in the southeast portion of the site. This existing structure does not meet WUD requirements and will need to be replaced. The estimated cost of a replacement is \$150,000 if the lift station is privately maintained. If it is publicly maintained the estimated cost is \$250,000.

4.3.2 Water

The closest available water main is an existing 12" water main along Benoist Farms Road. The proposed water main improvements for the project will include a network of potable water lines and fire lines with a connection to the existing 12" water main. In addition, the proposed



water main improvements will include a water meter with backflow preventer for potable water service and double detector check valve for fire service. Fire protection for the site will be provided with fire hydrants. Potable water and fire line improvements will be required to be designed and constructed in accordance with PBCWUD requirements.

4.3.3 Water and Sanitary Sewer Permitting

The proposed water and sewer improvements for the project will require the following permit and / or plan approvals

- Palm Beach County Water Utilities Department – Water and Sewer Plan approval.
- Palm Beach County Health Department – Water and Sewer Permit

4.3.4 Water and Sanitary Sewer Easements

The property has an existing 15-ft' Palm Beach County Water Utilities (PBCWUD) easement along the southern property line. New water and sewer services that will be owned and maintained by PBCWUD will require an easement in accordance with their standards.

4.3.5 Stormwater Management:

The property is located within the jurisdiction of South Florida Water Management District (SFWMD) and Lake Worth Drainage District (LWDD). The property is located within the SFWMD C-51 drainage basin and does not contain an existing surface water management system or existing Environmental Resources Permit (ERP). In addition, a portion of the property is located within Federal Emergency Management Agency (FEMA) flood zone AE with a base flood elevation of 14.50 NAVD per their Flood Insurance Community Panel Number 12099C0566F, effective on 10/5/2017.

The stormwater management improvements for the project will require a system of interconnected inlets and storm pipes with a discharge to a new on-site retention area. The legal positive outfall for the property is the existing LWDD E-2 Canal along the western property line.



The proposed surface water management improvements for the project shall be designed in accordance with the following criteria for flood protection:

- Finished floor elevations at or above the 100 year – 3 days, zero discharge storm event.
- Perimeter berm elevations around the property at the 25 year / 3 -day storm event.
- Minimum pavement grade elevation at the 3 year – 1 day storm event.

The volume of stormwater run-of stored on-site for water quality purposes shall be provided in the amount of the first inch of run-off over the entire site or 2.5 inches times the percent impervious area, whichever is greater. Also, an additional ½" of the site shall be accommodated for dry pre-treatment in accordance with SFWMD criteria for commercial sites.

Adequate volume of stormwater run-off shall be stored on-site to accommodate compensating storage requirements in accordance with the SFWMD C-51 Drainage Basin requirements.

Up to 20% of the site must be preserved for stormwater management. Each of the two conceptual site plan options accounts for a wet retention area.

Section 5: Review of Environmental Factors

WGI has been retained to conduct a Phase 1 Environmental Assessment(1). The Phase I Environmental Site Assessment did not identify any Recognized Environmental Conditions (RECs) and no Business Environmental Risks (BERs) that would warrant consideration of follow-up investigation sampling of the subject property, recommending that a Phase 2 Environmental Assessment is not required. WGI prepared an Environmental Feasibility Report (2) instead where some specific characteristics of the site were evaluated: location of the historical wet retentions, illegal infill of such wet retentions or ditches, possible need for tree mitigation and the presence of endangered animal species. The Feasibility Report concludes that :



Trees: 100% buyout for the subject property could be in the range of \$20,000.00 to \$28,000.00 at the 2024 ERM Tree Replacement costs.

A tree inventory and arborist report will need to be completed for County site plan approval and to determine the actual required mitigation amount (replacement trees, buyout, or combination thereof).

There are several sabal palms and strangler figs onsite and ERM will require preservation or relocation. Relocation of large trees can cost up to \$1,000.00 per DBH inch.

Wetlands: It is WGI's opinion that 0.60 acres of herbaceous wetlands and 1.06 of other surface waters are present on the subject property. A wetland delineation will need to be conducted for the subject property. An Environmental Resource Permit (ERP) from SFWMD will be required for impacts to wetlands and other surface waters.

Listed Species: There are areas on the subject property that are considered Suitable Foraging Habitat (SFH) for the wood stork.

Compensation for the impacted SFH can be achieved through the creation of onsite SFH (i.e. littoral zones on stormwater ponds) or through the purchase of wetland mitigation credits.

Refer to Exhibits B and C for detailed information.

(1) Phase 1 Environmental Site Assessment was conducted on (March 17, 2025) (WGI) (Exhibit B)

** Environmental Feasibility Report was finalized on February 2025 (WGI) (Exhibit C)

Section 6: Conceptual Development Plans

6.1 Required Program and Distribution of Functional Areas Per Level

Tables (shown below) represent the required program and applicable distribution of areas per code and regulations listed above. Due to the specific requirements of FAC 65E-12.106, certain functional elements must be grouped together and located at ground floor level. The minimum ground floor plate results are **42,899 SF** for this program (Table 1 and 2).



LEVEL AND PROGRAM ACTIVITY (ONE-LEVEL AND MUTILEVEL)					
Level	3-Story Structure	Level	2-Story Building	Level	1-Story Building (PREFERRED)
GROUND FLOOR	Outpatient Main Reception and Waiting	GROUND FLOOR	Outpatient Main Reception and Waiting	GROUND FLOOR	Outpatient Main Reception and Waiting
	Walk In / Urgent Care and Secure Drop Off		Walk In / Urgent Care and Secure Drop Off		Walk In / Urgent Care and Secure Drop Off
	CRF (Except		CRF		CRF
	CSU		CSU		CSU
	<u>Shared Spaces:</u>		<u>Shared Spaces:</u>		<u>Shared Spaces:</u>
	Storage - Main		Storage - Main		Storage - Main
	IT Room		IT Room		IT Room
	Kitchen		Kitchen		Kitchen
	Laundry Services		Laundry Services		Laundry Services
	Kennel		Kennel		Kennel
Security	Security	Security			
Facilities	Facilities	Facilities			
Lobby	Lobby	Lobby			
Public Restroom	Public Restroom	Public Restroom			
Lobby Reception	Lobby Reception	Lobby Reception			
2ND FLOOR	Outpatient Services (Except Main Reception and Waiting) Court and waiting, Offices and Public Restrooms	2ND FLOOR	Outpatient Services (Except Main Reception and Waiting) Court and waiting, Offices and Public Restrooms	GROUND FLOOR	Outpatient Services (Except Main Reception and Waiting) Court and waiting, Offices and Public Restrooms
	<u>Shared Rooms:</u>		<u>Shared Rooms:</u>		<u>Shared Rooms:</u>
	Breakroom - Main		Breakroom - Main		Breakroom - Main
	Staff Restroom		Staff Restroom		Staff Restroom
Employee Quiet Room	Employee Quiet Room	Employee Quiet Room			
THIRD FLOOR	<u>Administration:</u>	2ND FLOOR	<u>Administration:</u>	GROUND FLOOR	<u>Administration:</u>
	Director Office and other Offices		Director Office and other Offices		Director Office and other Offices
	Storage / Copy		Storage / Copy		Storage / Copy
	Recep Desk and Wait		Recep Desk and Wait		Recep Desk and Wait
	Conference Room		Conference Room		Conference Room
	Work space / Case Mgr.		Work space / Case Mgr.		Work space / Case Mgr.
	Breakroom		Breakroom		Breakroom
OUTDOORS	Peds Amenity/Activity*	OUTDOORS	Peds Amenity/Activity*	OUTDOORS	Peds Amenity/Activity*
	Adult Amenity/Activity*		Adult Amenity/Activity*		Adult Amenity/Activity*
	Utilities		Utilities		Utilities
	Vertical Circulation		Vertical Circulation		No Vertical Circulation

Table 1



AREAS ESTIMATION PER LEVEL- PER PROGRAM						
Ideal Distribution of Program per Floor						
		Total SF		Total SF		Total SF
		3 -Story		2-Story		1-Story
GROUND FLOOR		42899		42899		
2ND FLOOR		10782				56663
THIRD FLOOR		2983		13764		
Outdoors*		2025		2025		2025
Total		58,688		58688		58688

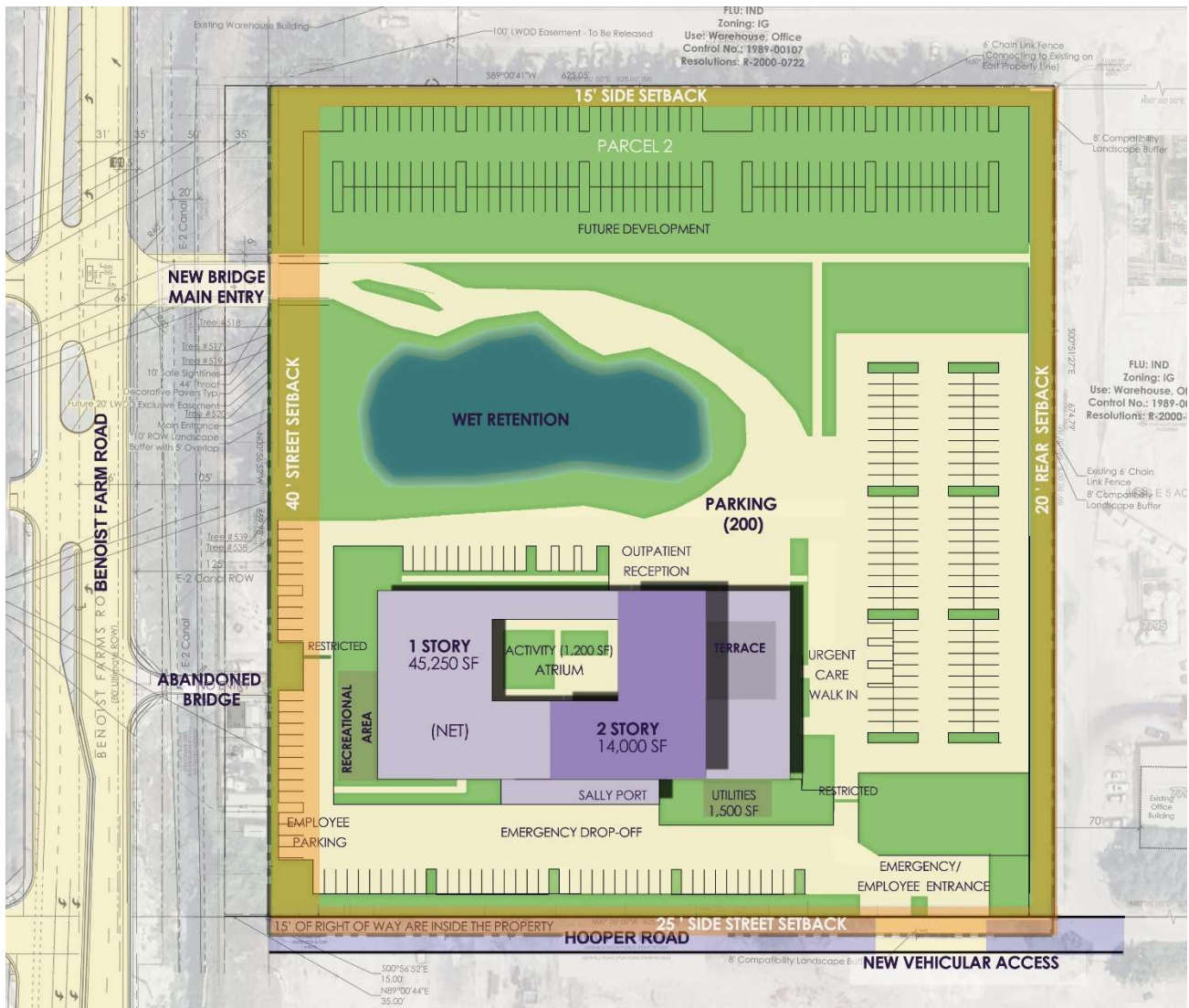
Table 2



6.2 URBAN OPTION- Conceptual Development Plan Option #1

New Behavioral Health Facility 59,800 SF (2-Story)

This proposal emphasizes preserving and enhancing the site's natural features. Existing vegetation and low-lying wet areas will be maintained and improved, serving as both natural assets and functional on-site drainage structures. The new facility is oriented northward to maximize views of these green spaces.



The proposed facility features a two-story structure with a central atrium designed to enhance air circulation and provide ample natural light, optimizing functionality and creating a welcoming environment for patients and staff.

Surface parking is planned on the east side and surrounding the property. The primary public entrance will be accessible via a new bridge with right- and left-turn access to Benoist Farms Road, ensuring convenient visitor access. Separate entrances for staff, the Centralized Receiving Facility (CRF), and Crisis Stabilization Unit (CSU) emergency vehicles will connect to a dedicated parking area via an extension of Hooper Road, serving as the emergency drop-off zone.

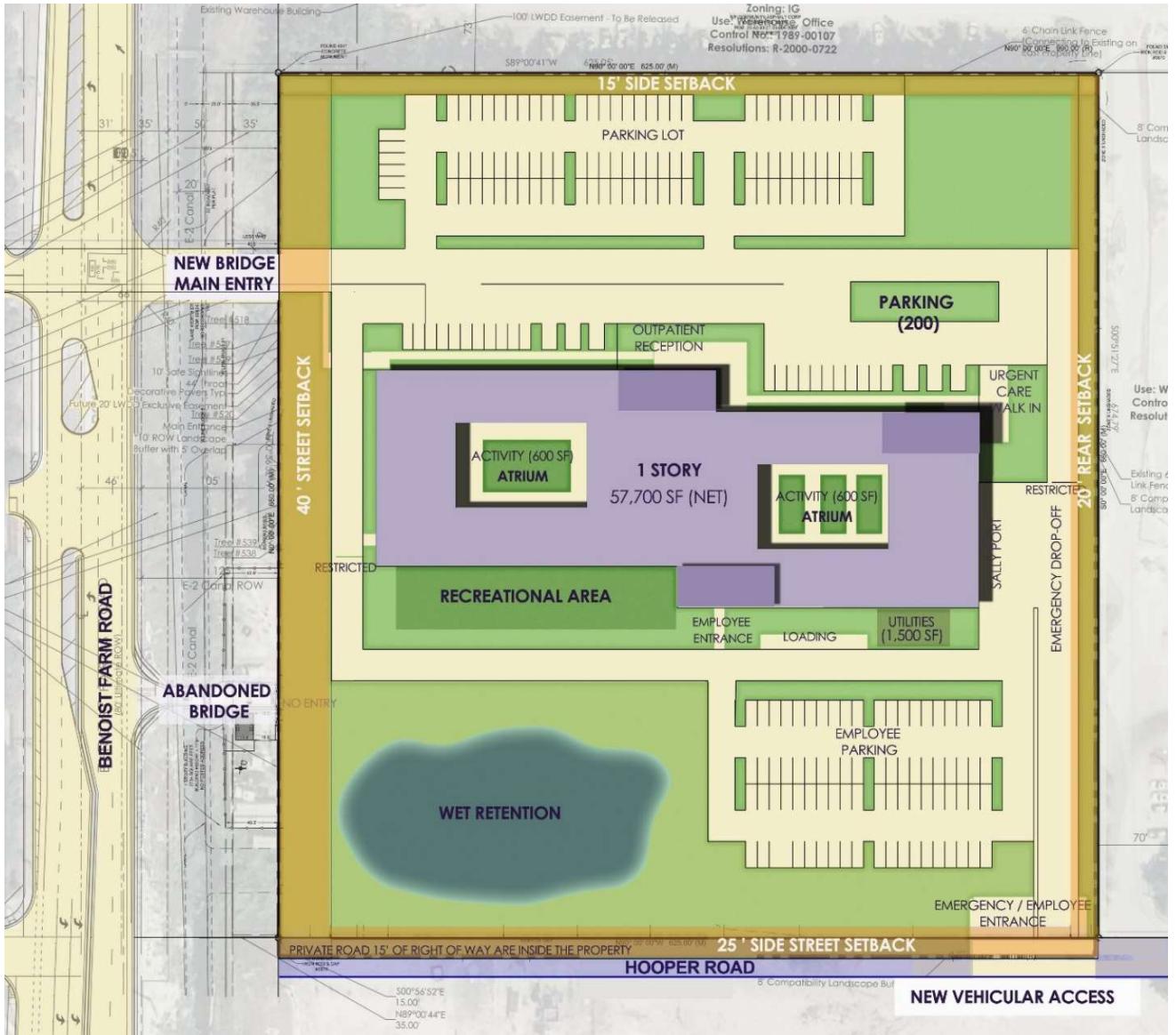
Access from Benoist Farms Road will include a future bridge, guiding vehicles along a scenic drive around the wet retention area before reaching the parking areas and drop-off zones. Public drop-off zones will be located on the north side of the building (Outpatient entrance), while the Urgent Walk-In entrance will be positioned on the east side. Additional surface parking near the facility will accommodate short-term parking needs. The plan also includes decommissioning the existing bridge and constructing a new crossing bridge to the north.

An additional parcel, identified as Parcel 2, was proposed immediately north of the main entrance. This area could support future facilities or services for the Health Care District. If needed, Parcel 2 could also accommodate 80 to 100 additional surface parking spaces.



6.3 SUBURBAN OPTION- Conceptual Development Plan Option #2 New Behavioral Health Facility 59,200 SF (1 Story)

This design ensures all access and circulation remain on one level, simplifying accessibility for all clients and reducing any vertical circulation elements.



The primary public entrance will be accessible via a new bridge with northbound and southbound access to Benoist Farms Road. From there, a main road with a proposed roundabout will provide access to the facility. Public drop-off zones are located on the north side of the building (Outpatient entrance), while the Urgent Walk-In entrance is positioned on the east side. Large surface parking areas are planned on the north and south sides, with additional short-term parking near public entrances.

A separate entrance for staff, the Centralized Receiving Facility (CRF) and Crisis Stabilization Unit (CSU) emergency vehicles are proposed via an extension of the existing Hooper Road. This entrance will lead to a dedicated employee parking area and a split access point to the east, designated as the emergency drop-off zone.

The lake (wet retention) is positioned on the south side of the property, utilizing the natural slope for effective drainage. Adjacent recreation areas will face the lake, providing outdoor space for staff and patients.

Two atriums are incorporated to enhance air circulation and provide ample natural light, optimizing functionality and creating a welcoming atmosphere. These secluded spaces can also accommodate recreational activities.

This plan also includes decommissioning the existing bridge and constructing a new bridge to the north.

6.4 Extraordinary Site-Specific Development Costs

Cost Category	Estimated Cost- Development Option 1 (Urban)
Bridge – Primary	\$ 1,300,000
Hooper Rd (Leveling - Creating Access)	\$ 200,000
Lift Station	\$ 250,000
Water and Sewer	\$ 150,000
Paving Grading and Drainage	\$ 500,000
Tree mitigation 28,000 + Estimated Bond \$12,000	\$ 40,000
Demolition	\$ 100,000
Total Site-Specific Costs	\$ 2,540,000



Section 7. Recommendations

7.1 Selecting a Development Option That Balances Functionality and Future Expansion:

- Developing a one-story facility will be ideal, due to the complexity of the program and the advantages of having all the access and circulation on a single level (Option 2).

While this option enhances operational efficiency—particularly in terms of ADA accessibility by eliminating the need for vertical circulation and ramps—it results in a larger footprint and roof area. This trade-off should be carefully considered to balance accessibility with aesthetic and environmental factors.

Alternative Considerations: Both Option 1 and Option 2 remain viable, even with the requirement of 299 parking spaces.

7.2 Site Assessment Conclusions:

- After assessing the site, it is confirmed that no special exceptions or variances are required to design and build a “Crisis Center for Behavioral Health and Substance Abuse” at this location.
- The required program for the facility is viable, and the site assessment has identified no critical issues or fatal flaws .

In the opinion of SMA, HCD can proceed confidently with the acquisition and development of the Benoist Site.

S:\Projects\2024\2024-135\Correspond\Site Analysis\A-Benoist\Report

Exhibit “A” Attachments

- Enlarged Zoning Map

Exhibit “B” Phase 1 Environmental Assessment (160 pages)

Exhibit “C” Environmental Feasibility Report (106 pages)



Feasibility Report



Health Care District Of Palm Beach County Crisis Center for Behavioral Health and Substance Abuse

Property Address: 100 N Benoist Farm Road, West Palm Beach, FL 33411

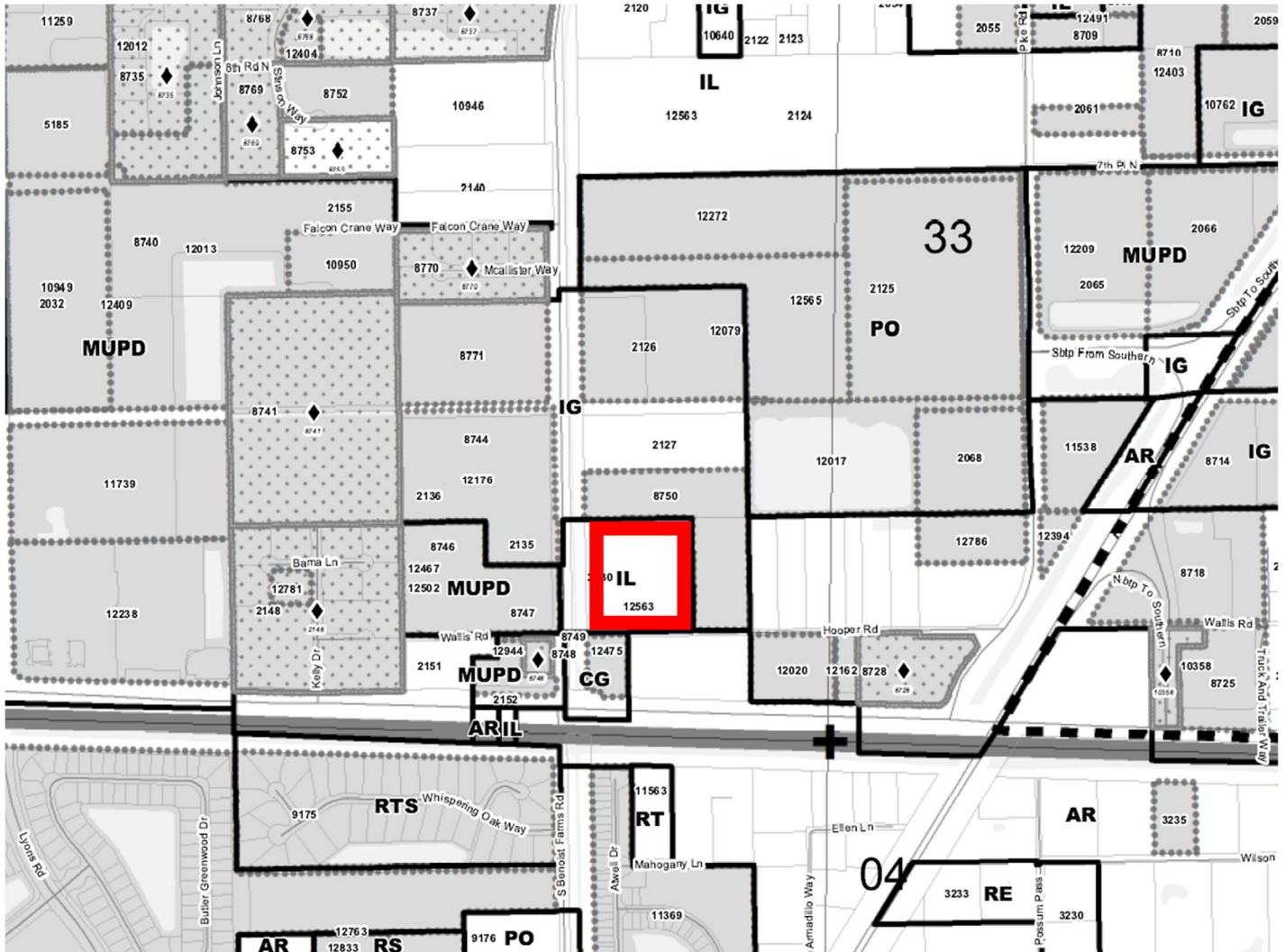
February 2025



Benoist Farm Rd

EXHIBIT A

Enlarged Zoning Map



Phase I Environmental Assessment



Health Care District Of Palm Beach County Crisis Center for Behavioral Health and Substance Abuse

Property Address: 100 N Benoist Farm Road, West Palm Beach, FL 33411

March 17, 2025



Prepared for Saltz Michelson Architects by:

WGI, Inc.

Phase I Environmental Site Assessment
for
100 N Benoist Farms Road, West Palm Beach, FL



Prepared for:
Saltz Michelson Architects, Professional Corporation
3501 Griffin Road
Ft. Lauderdale, FL 33312

Prepared by:

WGI, Inc.
2035 Vista Parkway
West Palm Beach, FL 33411
561-687-2220

WGI Project No. 11146.01

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TABLE of CONTENTS

<u>Section</u>	<u>Page</u>
EXECUTIVE SUMMARY	1
1.0 INTRODUCTION	3
1.1 Purpose	3
1.2 Detailed Scope-of-Services	4
1.3 Significant Assumptions	5
1.4 Limitations and Exceptions	5
1.5 Data Gap and Data Failure	6
1.6 Special Terms and Conditions	6
1.7 User Reliance	6
1.8 Viability of Phase I ESA	7
1.9 Conflict Certification	7
1.10 Confidentiality	7
2.0 PHYSICAL SETTING	8
2.1 Physical Setting	8
3.0 USER-PROVIDED INFORMATION	9
3.1 Title Records	9
3.2 Environmental Liens or Activity and Use Limitations	9
3.3 Specialized Knowledge	9
3.4 Value Reduction for Environmental Issues	9
3.5 Information about the Subject Property	9
3.6 Reason for Performing Phase I	9
3.7 Other User-Provided Information	9
4.0 RECORDS REVIEW	10
4.1 Standard Environmental Records Sources, Federal and State	10
4.2 Summary of Database Research for the Subject Property	10
4.3 Environmental Liens (ELs) and Activity and Use Limitations (AULs)	10
4.4 Summary of Database Research for Surrounding Properties	11
4.5 Vapor Migration Analysis	13
5.0 HISTORICAL REVIEW	14
5.1 Aerial Photograph Review	14
5.2 USGS Topographic Maps	15
5.3 Fire Insurance Maps	15
5.4 City Directories	15
5.5 Previous Environmental Reports	16
5.6 Other Historical Records	16
6.0 SITE RECONNAISSANCE	18
6.1 Methodology and Limiting Conditions	18
6.2 Site Inspection of the Subject Property	18
6.3 Site Inspection of Adjoining and Surrounding Properties	20
7.0 INTERVIEWS	22
7.1 Interviews with Owner	22
7.2 Interviews with Site Manager	22
7.3 Interviews with Occupants	22
7.4 Interviews with Local Government Officials	22
7.5 Interviews with Others	22
8.0 EVALUATION, FINDINGS AND OPINION	23
9.0 CONCLUSIONS	25
10.0 BUSINESS ENVIRONMENTAL RISKS AND NON-SCOPE CONSIDERATIONS	26
11.0 STATEMENT AND SIGNATURE(S) OF ENVIRONMENTAL PROFESSIONAL(S)	27
12.0 QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONAL(S)	28

APPENDICES

Appendix A:	Maps
Appendix B:	User-Provided Information
Appendix C:	Photographs
Appendix D:	Historical Aerial Photographs, Fire Insurance Maps, and Topographic Maps
Appendix E:	Government Agency File Review and Search Report
Appendix F:	Environmental Lien (EL) and Activity and Use Limitation (AUL) Search

LIST OF ACRONYMS

AAI	All Appropriate Inquiry
AS/SVE	air sparge / soil vapor extraction
AST	aboveground storage tank
ASTM	American Society of Testing and Materials
ATRP	Abandoned Tank Restoration Program
AULs	Activity and Use Limitations
BTEX	benzene, toluene, ethylbenzene, and xylenes
C&D	construction and demolition
CAR	contamination assessment report
CE-SQG	Conditionally Exempt Small Quantity Generator
CERCLA	Comprehensive Environmental Response, Compensation and Liability Act
CERCLIS	Comprehensive Environmental Response, Compensation, and Liability Information System federal database (now SEMS)
CINEMA	a PBC ERM electronic records management system
CFR	Code of Federal Regulations
CREC	Controlled Recognized Environmental Condition
EDI	Early Detection Initiative program
EDR	Environmental Data Resources, Inc.
EL	Environmental Lien
EPA	U.S. Environmental Protection Agency
ESA	Environmental Site Assessment
FDEP	Florida Department of Environmental Protection (formerly Dept. of Environmental Regulation, DER)
FINDS	Facility Index System / Facility Registry System database
GCTL	Groundwater Cleanup Target Level
HREC	Historical Recognized Environmental Condition
LLPs	Landowner Liability Protections
LUST	a database containing information on leaking underground storage tanks
MTBE	methyl tert-butyl ether
NAM	natural attenuation monitoring
NFRAP	a federal database of archived non-NPL sites with no further remedial action planned
NGVD	National Geodetic Vertical Datum
NPDES	National Pollutant Discharge Elimination System
NPL	National Priority List
NRCS	Natural Resources Conservation Service
OCULUS	an FDEP electronic database
OHMIT	Oil and Hazardous Materials Incident Tracking
PAH	polycyclic aromatic hydrocarbon
PARM	Post Active Remediation Monitoring
PBC ERM	Palm Beach County Department of Environmental Resources Management
PCB	polychlorinated biphenyl
PCE	tetrachloroethylene
PCPP	Petroleum Cleanup Participation Program
PFAS	Per and polyfluoroalkyl substances
PFOS	Perfluorooctanesulfonic acid
PFOA	Perfluorooctanoic acid
RAP	Remedial Action Plan
RCRA	Resource Conservation and Recovery Act
REC	Recognized Environmental Condition
RQ	Reportable Quantity
SAR	Site Assessment Report
SCTL	Soil Cleanup Target Level
SEMS	Superfund Enterprise Management System (formerly CERCLIS)
SHWS	Florida's State-Funded Action Sites database
SPILLS	a statewide database of oil and hazardous materials inland incidents
SQG	Small Quantity Generator
SRCO	Site Rehabilitation Completion Order
TCAR	Tank Closure Assessment Report
TSD	federal RCRA Transporters, Storage and Disposal database
ug/L	micrograms per liter
U.S.C.	Unites States Code
USDA	United States Department of Agriculture
USGS	United States Geological Survey
UST	underground storage tank

EXECUTIVE SUMMARY

WGI has performed a Phase I Environmental Site Assessment (ESA) in conformance with the scope and limitations of American Society of Testing and Materials (ASTM) Practice E1527-21 of approximately 9.466 acres of land at 100 N Benoist Farms Road, West Palm Beach, Florida, the subject property.

Summary of the Subject Property

- The subject property was undeveloped until the 1950s when there was apparent clearing and heavy earthwork that appears to be associated with the adjoining borrow pit and landfilling activities which primarily occurred offsite to the northeast and east.
- Between 1964 and 1968, twelve approximately 256 sq ft wood-frame buildings were constructed in two rows on the southern half of the site. Based on information obtained from prior investigations, these structures were originally used as dog kennels. Simultaneously, a guard shack was constructed at the entrance located at the western boundary of the subject property. Two concrete block buildings constructed between 1973 and 1975 were used as construction offices and storage areas. All 15 buildings remain today. An unpaved parking area located on the northern portion of the subject property where the tractor-trailers and construction equipment were parked was developed between 2021 and 2022.
- The concrete pad where a 500-gallon diesel AST was formerly observed (during WGI's 2019 site inspection) was inspected. No odors or staining were observed in the vicinity of the former AST pad.
- The subject property is not listed in any reasonably ascertainable federal, tribal, state, or local environmental regulatory records. WGI found no database evidence or visual evidence of underground storage tanks (USTs) either now or in the past.

Recognized Environmental Conditions (RECs)

- None. There is no evidence of a release, likely release, or a material threat of a release of a hazardous substance or petroleum product on the subject property.

Controlled Recognized Environmental Conditions (CRECs)

- None. There is no evidence of any hazardous substances or petroleum products affecting the subject property that have been allowed to remain in place subject to the implementation of required controls (for example, property use restrictions or engineering controls).

Environmental Liens (ELs) and Activity and Use Limitations (AULs)

- None found by WGI. The search for ELs and AULs by the Environmental Professional is supplementary to the User's obligation to search for ELs and AULs and report any findings to the Environmental Professional.

Historical Recognized Environmental Conditions (HRECs)

- None. There is no evidence of a past release of any hazardous substances or petroleum products that has affected the subject property and has been addressed to the satisfaction of the applicable regulatory authority and meets unrestricted use criteria established by a regulatory authority without subjecting the property to any controls.

De minimis conditions - not considered RECs

- None. There is no evidence of a condition related to a release that generally does not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Business Environmental Risks

- None. See Section 10.

Significant Data Gaps

- None. WGI believes that any data gaps and/or data failures did not impede our ability to adequately assess the subject property or impede our ability to identify RECs.

Recommendations

- Recommendations for a Phase II ESA or other assessment activities are specifically not required by ASTM E1527-21. If applicable, WGI will provide any recommendations separately.

1.0 INTRODUCTION

1.1 Purpose

WGI, Inc. (WGI) was contracted by Saltz Michelson Architects, Professional Corporation to conduct a Phase I Environmental Site Assessment (ESA) of the subject property listed below.

Subject Property Description	
Project name	Benoist Farms
Address	100 N Benoist Farms Road, West Palm Beach, Florida
Subject Property ID number(s)	Palm Beach County parcel control number 00-42-43-27-05-006-3100
Location	See Appendix A for maps
Size	9.466 acres

Source(s):
County Property Appraiser's website

WGI completed the Phase I ESA of the subject property pursuant to the standards and conditions set forth in American Society of Testing and Materials (ASTM) Designation E1527-21, *The Standard Practice for Site Assessments, Phase I Environmental Site Assessment Process*, and the U.S. Environmental Protection Agency's (EPA) All Appropriate Inquiry (AAI) rule (40 CFR 312).

The Phase I ESA provides a "snapshot" picture of the environmental conditions of a site at any given point in time. According to ASTM Designation E1527-21, the purpose of performing a Phase I Environmental Audit is "to define good commercial and customary practice in the United States of America for conducting an environmental site assessment of a parcel of commercial real estate with respect to the range of contaminants within the scope of the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 United States Code [U.S.C.] § 9601) and petroleum products. As such, this practice is intended to permit a user to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability (hereinafter, the landowner liability protections or LLPs): that is, the practice that constitutes all appropriate inquiries into the previous ownership and uses of the property consistent with good commercial and customary practice as defined by 42 U.S.C. § 9601 (35)(B)."

The goal of the Site Assessment through the ASTM standard is to identify **Recognized Environmental Conditions (RECs)**. As defined by ASTM, the term REC means "(1) the presence of hazardous substances or petroleum products in, on, or at the subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at the subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at the subject property under conditions that pose a material threat of a future release to the environment." A *de minimis* condition is not a REC.

hazardous substances or petroleum products include substances defined as hazardous substances pursuant to CERCLA 42 U.S.C. § 9601(14), and those substances included within the meaning of the petroleum exclusion including crude oil, gasoline, kerosene, diesel oil, jet fuels, fuel oil, natural gas, and synthetic gas usable for fuel. The terms do not include all substances that may pose business environmental risks.

material threat is an obvious threat which is likely to lead to a release and that, in the opinion of the Environmental Professional, would likely result in impact to public health or the environment.

Likely is that which is neither certain nor proved, but can be expected or believed by a reasonable observer based on logic, experience, and/or available evidence.

A **Controlled Recognized Environmental Condition (CREC)** is a REC affecting the subject property that has been addressed to the satisfaction of the applicable regulatory authority with hazardous substances or petroleum products

allowed to remain in place subject to the implementation of required controls (for example, activity and use limitations or other property use restrictions).

A **Historical Recognized Environmental Condition** (HREC) is defined by ASTM as a previous release of hazardous substances or petroleum products affecting the subject property that has been addressed to the satisfaction of the applicable regulatory authority and meeting unrestricted use criteria established by the regulatory authority without subjecting the subject property to any controls (for example, activity and use limitations or other property use limitations).

A *de minimis* condition is not identified as a REC; it is a condition related to a release that generally does not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

A **business environmental risk** (BER) is a risk which can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of commercial real estate, not necessarily related to those environmental issues required to be investigated under ASTM E1527-21. Some substances and conditions may be present that may pose a business environmental risk but would not be identified as a REC because they are not within the scope of ASTM E1527-21. These non-scope business environmental risks include, but are not limited to: asbestos-containing building materials unrelated to releases into the environment, biological agents, cultural and historic resources, ecological resources, endangered species, health and safety, indoor air quality unrelated to releases of hazardous substances or petroleum products into the environment, industrial hygiene, lead-based paint unrelated to releases into the environment, lead in drinking water, mold or microbial growth conditions, PCB-containing building materials (e.g., interior fluorescent light ballasts, paint, and caulk), naturally-occurring radon, regulatory compliance, and substances not defined as hazardous (including some substances sometimes generally referred to as emerging contaminants, including per and polyfluoroalkyl substances, PFAS, with the exception of CERCLA-listed PFOS and PFOA) and wetlands.

1.2 Detailed Scope-of-Services

The methodology used to perform the ESA reflects the contracted scope-of-services, which is described below.

In accordance with the ASTM Designation E1527-21 guidelines, this Phase I ESA included the following scope-of-services:

- WGI interviewed the User (Client or Client's designated representative) and the Owner (or designated representative) to assess knowledge of site-specific conditions or uncover available information, which may help to identify RECs.
- WGI conducted a site reconnaissance to identify RECs in connection with the subject property. WGI assessed the uses and conditions of the subject property, to the extent visually and/or physically observed during the site inspection of accessible area, including:
 - Current uses on the subject property likely to involve the use, treatment, storage, disposal, or generation of hazardous substances or petroleum products.
 - Inspection of the subject property for evidence of storage tanks, drums, polychlorinated biphenyl (PCB)-containing equipment, pools of liquid, odors, pits/ponds/lagoons, stained soil or pavement, stressed vegetation, drains, wastewater disposal system, wells, and other features. A general description of the current onsite structures was noted, if applicable.
 - Current uses of adjoining properties as limited to the extent visually and/or physically observed from property boundaries ("adjoining properties" are defined by ASTM as any real property or properties the border of which is contiguous or partially contiguous with that of the subject property, or that would be contiguous or partially contiguous with that of the subject property but for a street).

- Current uses of surrounding area as limited to extent visually and/or physically observed during a drive-through of the area.
- WGI obtained and reviewed “reasonably ascertainable” records of standard sources (as defined in ASTM Designation E1527-21), which are “publicly available”, obtainable within reasonable time and cost constraints, and “practically reviewable” (in a form that yields information without the need for extraordinary analysis of irrelevant data). These records included:
 - Applicable regulatory files held by the County environmental department and Florida Department of Environmental Protection (FDEP), which pertain to the use and handling of hazardous waste, hazardous substances, and petroleum products for the subject property, adjoining properties, and surrounding properties (within the designated search distance, per ASTM Designation E1527-21).
 - Physical setting sources, including a current United States Geological Survey (USGS) 7.5 Minute Topographic Map, and current technical documentation on the regional surficial soil type and distribution and regional geologic and hydrogeologic environmental setting.
 - Standard historical sources, used to develop an understanding of the previous uses or occupants of the subject property and adjoining properties, which may indicate potential RECs. These sources included (at a minimum) city directories, aerial photographs, fire insurance maps (if available), building records, and zoning and land use records which were reasonably ascertainable (at approximately 5-year intervals back to first use or the year 1940, whichever is earlier).
- WGI attempted to conduct interviews with individuals knowledgeable of the subject property to obtain information that may indicate the potential for RECs associated with the subject property.
- WGI relied on the information provided by the User and/or owner of the subject property to establish qualification in one of the three LLPs under CERCLA as required by ASTM Designation E1527-21.
- WGI prepared this final report, which summarizes the methodology and findings of the Phase I ESA. As recommended by ASTM Designation E1527-21, the final report includes a summary of the User-Provided Information, Record Review, Site Reconnaissance, Interviews, and Evaluation with Findings and Opinion. The Conclusions section clearly states if RECs were identified in connection with the subject property. Documentation of pertinent resources, references, and key exhibits support the report findings, when appropriate.

1.3 Significant Assumptions

Information regarding the subject property was reasonably ascertainable, and therefore, no significant assumptions have been made unless otherwise noted in a specific section of this report.

1.4 Limitations and Exceptions

The findings, observations, conclusions, and recommendations of this report are limited by the methods used to perform the services outlined in the scope of work. Performance of the ASTM practice is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs in connection with a property. No environmental assessment can wholly eliminate uncertainty regarding the potential for RECs in connection with a subject property. The limitations and exceptions of the ESA are listed below:

- Limitations of the contracted scope-of-services and the specified timeframes for completion of the contracted scope-of-services. The ASTM practice recognizes reasonable limits of time and cost. All appropriate inquiry does not mean an exhaustive assessment. There is a point at which the cost of information obtained or the time required to gather it outweighs the usefulness of the information and, in fact, may be a material detriment to the orderly completion of transactions. One of the purposes of this practice is to identify a balance between the competing goals of limiting the costs and time demands inherent in performing an environmental assessment and reducing uncertainty about unknown conditions resulting from additional information.

- Limitations associated with the collection of data and information that is secondhand, flawed, or incomplete. This assessment relied upon information and records supplied to WGI by representatives of the Client and by government agencies. The conclusions presented in this report are based on data provided by others; such data may be flawed or incomplete.
- The fact that while “reasonable efforts” have been made to visually identify the presence of environmental items of concern such as drums and underground storage tanks (USTs), “reasonable efforts” may not always identify evidence of all items of concern, which could be hidden from view. Although this assessment attempted to identify RECs, WGI is not responsible for potential sources of contamination that may have escaped detection because of the inability to readily observe RECs due to weather conditions, vegetation cover, debris, vehicles, other obstruction, or anything limiting visual observation of or physical access to the subject property and neighboring properties.
- The Phase I ESA is based upon conditions at the time of completion of the individual environmental site assessment elements.
- The Phase I ESA does not include business environmental risk issues including, but not limited to, asbestos-containing building materials unrelated to releases into the environment, biological agents, cultural and historic resources, ecological resources, endangered species, health and safety, indoor air quality unrelated to releases of hazardous substances or petroleum products into the environment, industrial hygiene, lead-based paint unrelated to releases into the environment, lead in drinking water, mold or microbial growth conditions, PCB-containing building materials (e.g., interior fluorescent light ballasts, paint, and caulk), naturally-occurring radon, regulatory compliance, and substances not defined as hazardous (including some substances sometimes generally referred to as emerging contaminants), and wetlands. These assessments are not within the scope of work of ASTM E1527-21.

1.5 Data Gap and Data Failure

According to EPA’s AAI rule, data gaps occur when the Environmental Professional is unable to obtain information required, despite good faith efforts to gather such information. Data failure, which is a type of a data gap, occurs when all of the standard historical sources that are reasonably ascertainable and likely to be useful have been reviewed, but have not been conclusive enough to meet the objective of the EPA’s AAI rule. When data gaps are encountered, the environmental professional must identify the data gap, identify the sources of information used to address the data gap, comment on the significance of the data gap, and form an opinion about the impact of the data gap. Data gaps and data failures, if any, are identified in the specific sections of this report and a summary of any significant data gaps or data failure is provided in Section 8.

1.6 Special Terms and Conditions

This Phase I ESA was prepared in accordance with ASTM E1527-21 and the Client required no special terms and conditions, unless otherwise noted in this report.

1.7 User Reliance

The contents of this Phase I ESA are for the exclusive use of the User(s) specifically listed in Section 11.

It may not be appropriate to use this document to satisfy the needs of others. All original documents, including, but not limited to, drawings, sketches, specifications, maps, as-built drawings, reports, test reports, etc., are not intended or represented to be suitable for re-use by others. Unauthorized third parties rely at their own risk, and shall indemnify and hold WGI harmless against any liability for any loss arising out of, or related to, reliance by any third party on any work performed thereunder, or the contents of this report.

The assessment procedure was based on the Client's agreement in a level of investigation considered to be prudent from a risk management philosophy and guided by common sense, professional judgment, and evaluation techniques being developed and used by governmental agencies for the investigation of properties subject to possible

contamination. WGI exercised the same degree of care and skill generally exercised by Environmental Professionals under similar circumstances and conditions. No other warranty is expressed or implied.

Observations and conclusions presented are not scientific certainties but are solely professional opinions based upon the information available to WGI which may be incomplete or inaccurate. The services provided herein are in no way intended to be legal advice and should not be relied upon in any way for legal interpretations.

1.8 Viability of Phase I ESA

According to ASTM E1527-21, a Phase I ESA is presumed to be viable when it is conducted within 180 days prior to the date of acquisition of the subject property (or, for transactions not involving an acquisition such as a lease or refinance, the date of the intended transaction). In calculating the Report Expiration Date, WGI used the earliest date of the following tasks:

	<u>Date conducted:</u>
i. the earliest interview of owners, operators, and occupants	see Section 7
ii. the search for recorded environmental liens (if within WGI's contract)	see Appendix F
iii. the review of government records	see Appendix E
iv. the visual inspection	see Section 6.1
v. the declaration by the environmental professional	see Section 11

The report expiration date is listed on the cover of this report.

1.9 Conflict Certification

WGI has no present or contemplated future ownership or financial interest in the real estate that is the subject of the report. WGI has no personal interest with respect to the subject matter of the report or the parties involved, and WGI has no relationship with the subject property or the owners thereof which would prevent an independent analysis of the environmental conditions of the subject property.

1.10 Confidentiality

The information provided within the Phase I ESA is confidential; therefore, under Florida law, WGI has no obligation to report findings of contamination. However, the owner of the subject property may have such a reporting obligation and should seek legal advice regarding such.

2.0 PHYSICAL SETTING

2.1 Physical Setting

WGI performed an assessment of the geologic, hydrogeologic, topographic, and other physical conditions of the subject property and the surrounding areas. The purpose of the assessment was to determine the natural conditions of the area and to evaluate how these conditions may influence impacts that may have occurred at the subject property or in the vicinity of the subject property.

Physical Setting	
Topography	<p>The subject property is approximately 18.00 feet National Geodetic Vertical Datum (NGVD) in elevation, according to USGS topographic data. The topography in this part of the County is mostly flat. Topographic maps are provided in Appendix D.</p> <p>Based upon the nearly flat topography, the direction of flow of a contamination spill either onsite or offsite is more likely to be affected by localized curbs, structures, swales, canals, berms, or other drainage features than regional topography.</p>
Soil Type	<p>According to the U.S. Department of Agriculture Natural Resources Conservation Service, most of the property is mapped as Arents-Urban land complex 0 to 5 percent slopes, with lesser amounts of Riviera fine sand. These soil types generally consist of 80 inches of fine sand. Past earthwork and land uses have likely disrupted or modified the original soil profile.</p>
Regional Geology	<p>The surface sediments in this part of Palm Beach County are Pleistocene quartz marine-terrace deposits. They are mapped as shell beds, undifferentiated. This includes variably lithified coquina of shells and sands and unlithified fossiliferous sands. The geology generally allows vertical and horizontal migration of potential contamination below the water table.</p>
Aquifer	<p>The subject property overlies the Surficial Aquifer System, an upper system of aquifers. The shallowest aquifer is unconfined.</p>
Depth to Groundwater	<p>Groundwater flow direction is important in assessing contamination potential. According to the source(s) cited below, regional flow direction in this part of the County is generally to the southeast. Groundwater contamination, if any, would be expected to generally move in that direction.</p> <p>Groundwater flow direction can be locally influenced by canals, well fields, and other features. Also, groundwater flow direction can change seasonally as surface water levels vary during the wet and dry seasons.</p>
Groundwater Flow Direction	<p>The subject property is not located within the limits of one of the County's wellfield zones. Since the subject property does not lie within one of the County's designated wellfield zones, groundwater flow direction at the subject property would not be affected by the proximity of a public wellfield.</p>

Source(s):

U.S. Department of Agriculture, Natural Resources Conservation Service (NRCS), Web Soil Survey (WSS).

U.S. Geological Survey, National Geologic Map Database.

U.S. Geological Survey, USGS Circular 1275, "Impact of Anthropogenic Development on Coastal Ground-Water Hydrology in Southeastern Florida, 1900-2000" (Renken et al., 2005), Figure 40.

Palm Beach County Wellfield Protection Map.

Scott, T., Geologic Map of Palm Beach County, Florida. Florida Geological Survey, Open-File Map Series 64, publication date 1993.

3.0 USER-PROVIDED INFORMATION

WGI provided the User with a User Questionnaire in accordance with ASTM E1527-21. The User was represented by Audrey Wolf of the Health Care District of Palm Beach County who completed the User Questionnaire. The User Questionnaire is provided in **Appendix B**.

3.1 Title Records

A search of land title records was not provided by the User.

3.2 Environmental Liens or Activity and Use Limitations

The User did not provide any information regarding any Environmental Liens or Activity and Use Limitations (EL/AULs) in connection with the subject property.

3.3 Specialized Knowledge

The User indicated she had no specialized knowledge or experience about the subject property with respect to potential contamination.

3.4 Value Reduction for Environmental Issues

The User indicated that the purchase price for the subject property had not been reduced below fair market value due to known or perceived contamination of the subject property.

3.5 Information about the Subject Property

Any details provided by the User about commonly known or reasonably ascertainable information about the subject property, and whether there are obvious indicators of the presence or likely presence of releases at the subject property, are provided in **Appendix B**.

3.6 Reason for Performing Phase I

The User shall make known to the Environmental Professional the reason the User wants to have a Phase I ESA performed. The User indicated that the ESA is being performed because the User is conducting a pre-purchase due diligence study and intends to purchase the subject property in the near future. The Environmental Professional understands the purpose of this Phase I ESA is to qualify for an LLP to CERCLA liability.

3.7 Other User-Provided Information

No other specific information was provided by the User.

4.0 RECORDS REVIEW

4.1 Standard Environmental Records Sources, Federal and State

WGI used Environmental Data Resources (EDR) to conduct a search of reasonably ascertainable federal, tribal, state, and local environmental regulatory records. The sources include, as a minimum, the standard environmental records sources identified by ASTM E1527-21. The database sources, approximate minimum search distance, and detailed research findings are presented in the EDR Report in **Appendix E**. WGI also reviewed the subject property and other selected sites in the database sources listed below.

Source(s):

EDR Radius Report (provided in Appendix E)
FDEP, Drycleaning Solvent Cleanup Program, Drycleaning registration certificates
FDEP, Drycleaning Solvent Cleanup Program, Priority Ranking List
FDEP OCULUS database
FDEP Contamination Locator Map
FDEP Map Direct, Division of Waste Management Layers
FDEP, List of Cattle Dip Vats
PBC ERM's CINEMA website

4.2 Summary of Database Research for the Subject Property

The subject property is not listed in any other reasonably ascertainable federal, tribal, state, or local environmental regulatory records.

Though it is considered a non-scope consideration of ASTM Practice E1527-21, the FDEP database includes a file for Environmental Resource Permitting (ERP) for the subject property related to unauthorized wetlands filling. File documents reference the execution of a "CO" (Consent Order) in August 2021.

4.3 Environmental Liens (ELs) and Activity and Use Limitations (AULs)

An environmental lien (EL) is a charge, security, or encumbrance upon title to a property to secure the payment of a cost, damage, debt, obligation, or duty arising out of response actions, cleanup, or other remediation. Activity and use limitations (AULs) are legal or physical restrictions or limitations on the use of, or access to, a site or facility: (1) to reduce or eliminate potential exposure to hazardous substances or petroleum products in the soil, soil vapor, groundwater, and/or surface water on the property, or (2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal or physical restrictions, which may include institutional and/or engineering controls, are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances and petroleum products in the soil, soil vapor, groundwater, and/or surface water on the property.

To meet the requirements of 40 CFR 312.20 and 312.25, a search for the existence of ELs and AULs that are filed or recorded against the property must be conducted. ELs and AULs are legally distinct instruments and have very different purposes and both can commonly be found within recorded land title records (e.g., County Recorder/ Registry of Deeds). The types of title reports that may disclose ELs and AULs include title insurance documentation such as Preliminary Title Reports and Title Commitments, and title search information reports such as Condition of Title, Title Abstracts, and EL/AUL Reports. Chain of title reports will not normally disclose ELs or AULs. ELs and AULs that are imposed by judicial authorities may be recorded or filed in judicial records only. In jurisdictions where ELs or AULs are only recorded or filed in judicial records, the judicial records must be searched for ELs and AULs. Title search information reports shall review land title records for documents recorded between 1980 and the present.

ASTM E1527-21 does not impose on the Environmental Professional (WGI) the responsibility to undertake a review of recorded land title records and judicial records for ELs and AULs. Any ELs and AULs known to the User should be reported to the Environmental Professional conducting a Phase I ESA. The User should either (1) engage a title company, real estate attorney, or title professional to undertake a review of reasonably ascertainable recorded land

title records and lien records for ELs and AULs currently recorded against or relating to the property, or (2) negotiate such an engagement of a title company, real estate attorney, or title professional as an addition to the scope of work of the Environmental Professional.

WGI performed a supplementary search for ELs and AULs by reviewing institutional control registries as described in Section 4.1 and by reviewing the institutional control layer in the FDEP Map Direct database (**Appendix F**). No ELs or AULs were found for the subject property by the Environmental Professional's supplementary search. The search for ELs and AULs in this paragraph is supplementary to the User's obligation to search for ELs and AULs and report any findings to the Environmental Professional.

4.4 Summary of Database Research for Surrounding Properties

WGI reviewed reasonably ascertainable federal, tribal, state, and local environmental regulatory records of surrounding lands to determine if they pose a potential significant environmental concern to the subject property. This section does not include a summary of every site identified in the database research; for example, facilities such as successfully remediated sites far downgradient of the subject property that have a negligible risk of posing a potential environmental concern to the subject property are not summarized herein.

Community Asphalt Corp (7795 Hooper Road, West Palm Beach). FDEP Facility ID 50/9101387. This site adjoins the subject property to the east and north. It appears to be an asphaltic pavement production facility that stores and manages aggregate and asphalt. It has a record of numerous registered aboveground storage tanks (ASTs). There have been no documented releases from the ASTs, and there are no documented violations of mismanagement of asphalt or other petroleum products, therefore WGI does not consider this site to constitute a REC to the subject property. A prior due diligence investigation of the subject property identified a US DOT - Department of Transportation Pipeline and Hazardous Materials Safety Administration (PHMSA) incidents reports database Hazardous Materials Information Reporting System record of a 1993 release of 30 gallons of fuel oil due to the fuel supply vendor's overfill of an aboveground tank. The HMIRS record says the, "*driver was unloading (#2 diesel fuel) into an above ground tank(,) he had the wrong tank which would not hold all the product (and it) overflowed. Driver pumped spilled diesel from the retaining wall into the truck. All was cleaned up to the customers satisfaction.*" Though the overfill exceeded the 25-gallon Reportable Quantity (RQ) volume for diesel fuel, the release was only reported to the USDOT, not to any environmental regulatory agency. Per the HMIRS record, the cleanup was apparently performed to the site owner's approval with no environmental regulatory oversight. Despite the proximity of Community Asphalt's tank farm, WGI found no evidence that the #2 diesel overfill event resulted in contamination that may have migrated and, therefore, does not consider it to constitute a REC to the subject property.

Various commercial/industrial facilities. There have been various commercial / industrial facilities in the vicinity, including but not limited to Ron Kendall Masonry / K & T Stoneworks / CGA Stonecasting (101 Benoist Farms Road), and O D Burns automotive (101 Benoist Farms Road) with multiple database records (Haz Waste, EDR Hist Auto, UST, LUST RCRA, etc.). These facilities are located approximately 150 feet west of the subject property. Many of these facilities are light industrial facilities, several include large lots for storage of automobiles, and many have had USTs and ASTs for fuel. There are some records of minor violations but no large groundwater plumes have been reported; therefore, WGI does not consider these types of facilities to constitute a REC to the subject property.

ABC U Pull It (451 N Benoist Farms Road, West Palm Beach). ERIC_10654. This facility is 150 feet west of the subject property. The December 2012 Site Rehabilitation Completion Report and No Further Action Proposal identified two areas of concern: a 'concrete flume area' and a 'dismantling area,' both of which were sources of lead contamination in the soil. In 2008, lead-contaminated soils from the "concrete flume area" exceeding the Residential Direct Exposure Soil Cleanup Target Levels (SCTLs) were removed from the site. Groundwater samples for lead showed no exceedances above the Groundwater Cleanup Target Levels (GCTLs) in the vicinity of the 'concrete flume area.' Soil and groundwater impacts above State Cleanup Levels were reported within the dismantling area following sampling activities in 2006 and 2007. A Soil Vapor Extraction (SVE) system was installed in 2009 to remediate the area. Subsequent soil and groundwater samples were reported below the applicable SCTLs and GCTLs. A subsequent Site

Rehabilitation Completion Order (SRCO), dated January 29, 2013, was issued by the FDEP indicating no further action (NFA) is required regarding the past releases. Based on the receipt of an SRCO and NFA, WGI does not consider the release incident to constitute a REC to the subject property.

Henegan's Nursery (7760 Southern Blvd). FDEP Facility ID 9300114. This site is approximately 350 feet southeast of the subject property and is listed as a leaking underground storage tank (LUST) site. Based on a 1995 groundwater sampling report, a 150-gallon gasoline UST was removed from the site in 1992 when "excessively contaminated" soil was encountered at this site. After assessment activities, it was determined the contamination was limited to the UST area. Groundwater samples were reported below GCTLs for two consecutive quarters in 1995; therefore, no further action status was recommended for the site. A SRCO was subsequently issued for the site on July 7, 1995 by the FDEP indicating NFA was acquired regarding the past release. Furthermore, groundwater was calculated to flow to the south away from the subject property, therefore this site is downgradient. Based on the receipt of an SRCO and its down-gradient location, WGI does not consider the release incident to constitute a REC to the subject property.

Wawa Gas Station #5348 (8115 Southern Blvd). FDEP Facility ID 9818886 (Storage Tanks). This site is located approximately 500 feet southwest of the subject property. A FDEP Storage Tank Registration Form indicated two 22,000-gallon and one 20,000-gallon gasoline USTs were installed January 2022. The FDEP Storage Tank Facility Routine Compliance Site Inspection Reports for 2023 and 2024 confirmed full compliance with all regulations. There have been no reported releases from the USTs, and there are no documented compliance violations, therefore, WGI does not consider this site to constitute a REC to the subject property.

D S Eakins Construction- formerly Dixie Asphalt (550 N Benoist Farms Road, West Palm Beach). FDEP Facility ID 8841626. This facility is 650 feet north-northeast of the subject property. D S Eakins Construction recycles construction materials and provides aggregate supply. Shell rock was mined from the site from the 1940s to the 1970s. An asphalt Dixie Asphalt, an asphaltic materials production facility, operated on the site from 1973 through 1983. According to the Terra-Com National Attenuation Monitoring Report dated March 17, 2022, USTs made of bare asphalt-coated steel at the site were found to have leaked gasoline and diesel, with the contamination first discovered in 1988. Remedial action was implemented at the site in 1993 and 2004 including soil excavation of contaminated soil. The latest groundwater data from March 2022, reported a benzene concentration of 7.5 micrograms per liter (ug/l) in MW-58, exceeding the GCTL (1 ug/l). MW-58 is the southernmost groundwater monitoring well on the D S Eakins site. That sampling event reported a southerly groundwater flow (towards the subject property). While the most recent (December 2024) groundwater sampling data for the D S Eakins site reports benzene concentrations exceeding the GCTL in one of five wells sampled, none of the sample IDs include MW-58 and no map is available indicating the latest sampling locations. Nonetheless, given the current status of cleanup and the distance to the D S Eakins site, WGI does not consider this incidence of petroleum contamination of a nearby property to constitute a REC to the subject property.

Affordable Forklifts (7733 Hooper Road). FDEP Facility ID 8837881 (Storage Tanks), EPA ID No. FLD 981925043. This site is located approximately 725 feet west of the subject property. The FDEP Storage Tank Registration Form noted that a 2,000-gallon gasoline UST was installed in November 1973, removed in January 1990, and replaced with a 2,000-gallon gasoline AST. The site is also listed as a *Conditionally Exempt Small Quantity Generator* by the EPA. The FDEP Hazardous Waste Inspection Report dated 07/10/2012 indicated that the former occupant of the site, Ray Roofing Company, was registered as a Small Quantity Generator of hazardous waste in 1986. The inspection documented this facility generates used oil, spent battery cores, used oil filters, used antifreeze, oily rags, spent parts washer solvent, and universal waste mercury lamps. There have been no documented releases from the AST or the former UST, and there are no documented violations of mismanagement of petroleum products or hazardous waste at this site, therefore WGI does not consider this site to constitute a REC to the subject property.

SWA Cross State Landfill (no street address). Palm Beach County permit MP 50-146042, SWF/LF facility ID S111220786, Palm Beach County site #19. This facility is a Solid Waste Authority landfill that opened in 1938 and closed in 1976. It is approximately 80 acres located approximately 1,500 feet north of the subject property. It was located on the site of an abandoned shell rock mine (borrow pit). Fill materials were placed above and below the

watertable. Disposed materials are reported to have included mixed garbage, rubbish, septic tank wastes, dead animals, appliances, and automobiles. Given that the landfill's distance, (regionally) cross-gradient location to the subject property, and that WGI found no regulatory records of reported groundwater contamination at or emanating from the landfill, therefore WGI does not consider this site to constitute a REC to the subject property.

Cattle dip vats (CDVs) were used in Florida to treat cattle, horses, mules, goats, and other susceptible animals for the eradication of disease-bearing ticks. They were used in Florida from the 1910s until 1961. Typically, the ground was excavated, and the vat placed below ground. Mixtures containing arsenic were the primary solutions used, but DDT and chlorinated pesticides were used in later years. The animals would be run through the vats for treatment and held on a drip pad at the exit of the vat. When their hides no longer dripped any solution, the animals were released back to the pasture. By State law, all susceptible animals were required to be dipped every 14 days. Periodic maintenance of the vats included replenishing the dipping solution and removing the dead ticks and other organisms from the bottom of the vat. The ranchers were instructed to bury these materials, but investigators have indicated that disposal often occurred to the ground adjacent to the vat. When dipping was no longer required, many vats were simply abandoned. FDEP Waste Cleanup has a list of known cattle dip vats in each County, but the location of many vats is unknown. Most of the listings are from old records of the State Livestock Board, which listed a general location for each vat as it was put into operation. Some privately operated vats may have existed which were not listed by the Livestock Board. The FDEP has no list of known cattle dip vats for Palm Beach County. WGI reviewed and found no clear evidence on the historical aerial photographs of cattle corrals near roads on the subject property – a typical place where cattle dip vats were used. Although the presence of cattle dip vats cannot be eliminated (it is possible that a vat is buried and not visible, or the vat was removed but contaminated soil and groundwater remain), no evidence of a cattle dip vat was found on or adjoining the subject property.

4.5 Vapor Migration Analysis

WGI assessed the subject property for the potential that vapors of hazardous substances or petroleum products may have migrated upward through the soil or originated from an offsite location and migrated laterally to the subject property. If there is soil or groundwater contamination nearby, a vapor risk may be present. Lateral vapor migration can be facilitated in urban areas where underground utilities can provide preferential flow paths for transport. Also, lateral vapor migration through the vadose zone can be facilitated by clay layers or other confining units that block upward migration and spread the vapors laterally.

The assessment focused on whether there are any known plumes within a critical search distance of 100 feet for volatile organic compounds and 30 feet for petroleum products. Based on the agency file reviews in Section 4.4 above, there are no known plumes within the search radius. Given the absence of known or suspect contamination within the search radius and given the relatively thin vadose zone or confining units that promote horizontal migration, it is concluded the risk from vapor migration is minimal and no REC is identified based on vapor migration.

5.0 HISTORICAL REVIEW

The objective of reviewing historical information is to develop a history of previous uses of the subject property and the surrounding area and to determine the probability that past land uses have caused RECs.

5.1 Aerial Photograph Review

WGI reviewed historical aerial photographs to determine the past uses of the project area and to search for photographic evidence of potential contamination sites. WGI found and reviewed historical aerial photographs including but not necessarily limited to 1940, 1953, 1958, 1964, 1968, 1973, 1975, 1986, 1991, 1995, 1999, 2007, 2010, 2015, 2019 and 2024. Specific results of the evaluation for the subject property and the adjacent properties are presented below. Selected aerial photographs are provided in **Appendix D**.

Source(s):

Florida Department of Transportation, Surveying and Mapping Office, Aerial Photography Archive Collection (APAC)
County Property Appraiser's website
EDR Aerial Photo Decade Package

The Subject Property

Based on a review of historical aerial photographs, the subject property appears to have been undeveloped, natively vegetated land up through 1953. Between 1953 and 1958, the subject property was cleared and linear soil piles, presumably derived from the excavation on the east-adjoining property, were deposited on it from east to west. Between 1958 and 1964, an east-west surface water feature was dug across the north-central part of the subject property; that surface water feature remained evident in photographs until the early 2000s. Between 1964 and 1968, 12 buildings of roughly equal dimensions were constructed in two rows south of the surface water feature; these buildings remain today. The use of the buildings is not evident from the aerial photographs, but their size and geometry are consistent with other historical records that indicate they may have been dog kennels. A small building constructed at the west entrance off Benoist Farms Rd appears to be a guardhouse.

Between 1973 and 1975, two additional buildings were constructed between the guard shack and the dog kennel structures. By 1986, a strip of land was cleared of vegetation adjacent to the north boundary; based on prior investigations, this cleared strip was used to train the racing dogs boarded at the subject site. Between early 2021 and early 2022, the north side of the subject property north of the surface water feature was cleared of vegetation for construction equipment and tractor trailer storage.

There is no clear evidence on the historical photographs of the storage, use, release or disposal of hazardous substances, including potential significant sources of PFOS and/or PFOA, or petroleum products on the subject property.

Adjoining Properties

In 1940, surrounding lands were primarily a mix of agricultural lands and natural areas. Some borrow pits and/or landfilling activities were occurring on the northeast-adjoining property. Borrow pits, landfilling, and/or associated earthwork expanded substantially on properties to the north and east by 1953 (apparently onto the subject property by 1958). Benoist Farms Road was paved between 1953 and 1958.

During the 1960's, borrow pit activity was extensive on properties to the north and east. In the 1970s, tree nurseries and/or groves were developed to the south and west, and an automotive salvage yard was developed to the northwest. Between 1975 and 1986 commercial and light industrial activities increased along the west side of Benoist Farms Road. Between 1986 and the early 1990s, most of the surrounding lands had been converted to light industrial uses. like waste management facilities. Sometime between 1999 and 2007, the south-adjoining property transitioned to aa truck / trailer storage facility and remained such until mid-2024.

5.2 USGS Topographic Maps

Topographic maps can provide information on past uses of an area and, in some cases, can reveal topographic changes due to mining, landfilling, and similar large-scale activities. WGI found and reviewed historical topographic maps including, but not necessarily limited to, the following:

- USGS 7.5-minute quadrangle for Palm Beach Farms, dated 1946.
- USGS 7.5-minute quadrangle for Palm Beach Farms, dated 1949.
- USGS 7.5-minute quadrangle for Palm Beach Farms, dated 1946 photo-revised 1967.
- USGS 7.5-minute quadrangle for Palm Beach Farms, dated 1946 photo-revised 1983.
- US Topo 7.5-minute quadrangle for Palm Beach Farms, dated 2012, 2015, 2018, and 2021.

The topographic maps indicate the subject property was undeveloped land in 1946 and 1949. The maps indicate that 12 buildings and a surface water feature were constructed on the subject property sometime between 1949 and 1967. No apparent changes occurred to the subject property between 1967 and 1983. Topographic maps from 2012 through 2021 do not depict any details on the subject property except the surface water feature. The topographic maps provide no evidence of mining, landfilling, or similar large-scale activities on the subject property.

Offsite, the topographic maps indicate large borrow pit areas developed sometime before 1946 adjoined the subject property to the north and northeast. The maps appear to show that north-adjointing borrow pit was completely backfilled sometime between 1949 and 1967, and the remaining borrow pits were filled sometime between 1967 and 1983. Selected topographic maps are provided in **Appendix D**.

Source(s):
United States Geological Survey topographic maps

5.3 Fire Insurance Maps

Fire insurance maps, many of which were created by the Sanborn® Map Company, were created as early as the 1860s. They were mainly designed to help fire insurance agents determine risks and establish premiums and to determine the amount of loss after a fire. The maps illustrate building construction, uses, and potential fire hazards such as storage tanks, and therefore can provide information on the potential presence of RECs. There are fire insurance maps for many cities in the U.S., Canada, and Mexico but they have generally only been created for historically urban areas. WGI found that there are no fire insurance maps for this area.

Source(s):
EDR Certified Sanborn® Map Report
State Universities Libraries of Florida, Publication of Archival Library & Museum Materials (PALMM), Sanborn Fire Insurance Maps of Florida

5.4 City Directories

WGI reviewed historical city directories to obtain information on past ownership and use. WGI found and reviewed city directories for the years 1920, 1924, 1929, 1932, 1937, 1942, 1947, 1951, 1952, 1955-1958, 1961, 1962, 1965, 1970, 1972-1974, 1976, 1977, 1979, 1982-1984, 1986, 1988, 1989, 1993, 1999, 2000, 2005, 2010, 2014, 2017 and 2020. The following addresses that were researched included but were not necessarily limited to:

- 100 N Benoist Farms Rd (subject property)
- Southern Blvd (near the subject property)

Source(s):
EDR City Directory Image Report

Various years as cited, various sources may include Cole Information Services, Hill-Donnelly Information Services, City Publishing Company, Southern Bell, R.L. Polk & Co., The Price & Lee Co., Southern Directory Company, Ernest H. Miller, and/or Miller & Mayfield city directories.

The Subject Property

The following were the listings for the subject property:

100 N Benoist Farms Road:

- Champion Racing Team Inc (1999-2005)
- DW Kennels Inc (2005)
- Greyhound Kennel Supply (1992-2005)
- Mountain Greyhounds (2005)
- Agganis Arthur Kennel (1999)
- Andrews Kennel (1999)
- Donald Taylor Kennel (1999)
- Jester Racing (1999)

Nearby Parcels

Nearby listings were mainly commercial / industrial facilities, including masonry, stoneworks, plant nurseries, towing and auto salvage yards, automotive and gardening equipment sales and repair shops, transportation services, and outdoor storage yards.

On adjacent or nearby parcels, WGI found no evidence in the City Directory listings of historical drycleaners stations, printing companies, or industrial facilities on parcels near the subject property that are commonly associated with hazardous substances, including potential significant sources of PFOS and/or PFOA, or petroleum products.

5.5 Previous Environmental Reports

WGI reviewed the following previous environmental reports:

- Phase I Environmental Site Assessment of 100 N Benoist Farms Road, prepared by WGI, October 10, 2019.
 - The 2019 Phase I ESA report revealed no evidence of RECs and warranted no further assessments as of the date of the report.
- Phase I Environmental Site Assessment of 100 Benoist Farms Road, prepared by Bureau Veritas, May 08, 2022 (provided by the User).
 - The 2022 Phase I ESA report revealed no evidence of RECs and warranted no further assessments as of the date of the report.

5.6 Other Historical Records

County Property Appraiser records indicate the owners have included:

- OSI 100 N Benoist Farms Road LLC
- Brown Landholding LLC
- Investment Corporation of Palm Beach

The County Property Appraiser's website indicates there are 15 buildings on the subject property, including but not limited to:

- a 20 ft x 14 ft guardhouse constructed in 1965,
- a 32 ft x 34 ft warehouse storage building built in 1965,
- twelve 256 sq ft kennel structures built in 1965, and
- a 44 ft x 32 ft warehouse storage building built in 1974.

No other historical records were reasonably ascertainable for review.

6.0 SITE RECONNAISSANCE

6.1 Methodology and Limiting Conditions

WGI conducted site reconnaissance during a site visit to the subject property. The inspection was conducted by walking the perimeter of the subject property boundaries, and by conducting transects within the subject property and biased toward those areas that the inspector thought would most likely exhibit contamination, as readily allowed by access. The subject property was “visually and/or physically observed” for “obvious” conditions according to the ASTM guideline. As defined by ASTM, “visually and/or physically observed” means observations made by vision while walking through a property and the structures located on it and observations made by the sense of smell, particularly observations of noxious or foul odors. “Obvious” means that which is plain or evident; a condition or fact that could not be ignored or overlooked by a reasonable observer while visually or physically observing the property.

Limiting conditions, if any, may be routine and not significant. These include:

- Some areas, especially along the boundaries, are overgrown with vegetation that limited access and visibility of the surface grade. These areas do not appear to be where significant quantities of hazardous substances or petroleum products are stored or have been released.
- Most of the site’s structures are locked which prevented WGI from accessing them for inspection of their interiors.

Any significant limitations are discussed in Section 8.3.

6.2 Site Inspection of the Subject Property

A field inspection checklist was used on the subject property. The inspection checklist is summarized below. Photographs are provided in **Appendix C**.

Date of site reconnaissance	February 10, 2025
Inspector(s)	Rachel Starck
Current use(s)	None – vacant
Past use(s)	Dog kennels, construction offices, racing team offices, tractor trailer & truck/construction equipment parking/storage (based on City Directory listings)
Structures and other improvements	WGI observed 15 structures in total on the subject property. A guardhouse sits on the west side of the property (on the access road from Benoist Farms Rd.) East of the guard house are two shop/office buildings. East of those buildings are 12 former dog kennels. All 15 buildings were observed to be vacant at the time of the site inspection though miscellaneous furniture and other debris were observed inside and outside. WGI did not observe any evidence of staining or odors at or around any of the buildings.
Roads / parking areas	There is a paved access road from Benoist Farms Road onto the subject property that runs between the offices and 12 structures. An unpaved parking lot previously used as tractor-trailer and construction equipment and trailer storage occupies the northern half side of the subject property (north of the surface water feature).
Potable water supply	Not observed.
Sewage disposal system	Sanitary sewer lift station on subject property, east of the former kennel buildings

Hazardous substances and petroleum products	One 5-gallon container of engine oil was observed outside of the northwestern most shop/ office building. There are also three other 5-gallon containers, however they were not labeled. They appear to be petroleum products related to engine maintenance. A few empty labeled 5-gallon containers of latex paint were observed on the northwestern edge of the parking lot. No staining or odors were observed in the vicinity of any of these containers.
USTs (fill ports, vent pipes, dispensers, product lines, pavement patching, concrete pads)	Not observed
ASTs	None observed. The concrete pad where a 500-gallon diesel AST was previously observed during WGI's 2019 due diligence site inspection was inspected. The AST was not observed. No odors or staining were observed in the vicinity of the former AST's concrete pad.
Odors	No chemical odors detected.
Standing water, pools, sumps likely to contain hazardous substances or petroleum products	Not observed
Drums, totes, and intermediate bulk containers	A rusted empty 55-gallon drum lying on its side was observed on the western edge of the property. The drum is unlabeled, so the original content is unknown. Two empty intermediate bulk containers (IBCs, i.e., totes) were IBCs found onsite. The IBCs are unlabeled, so their original contents are unknown. No staining or odors were observed around the 55-gallon drum or the IBCs.
Unidentified substance containers	Several 5-gallon unlabeled buckets filled with unknown substances were observed outside of the two former storage/ office buildings. The buckets are believed to be petroleum-based products since automotive repair work was historically conducted by former tenants in this area of the subject property.
PCB-containing items / electrical or hydraulic equipment	Not observed.
Heating / cooling	Not observed.
Stains or corrosion related to a release	Not observed
Drains and sumps	Not observed
Pits, ponds, lagoons (excluding stormwater)	Not observed
Stained soil or pavement	Not observed
Stressed vegetation	Not observed
Solid waste disposal evidence including debris, mounds, depressions, landfilling, disturbed soil	Scattered debris was observed throughout the subject property including old tires, latex-labeled paint bottles, and furniture.
Water / wastewater	Not observed
Wells	Not observed
Septic system or cesspool	Not observed
Looks like current or former gas station or drycleaner	No
Oil/water separator	Not observed

Batteries	Several waste automotive batteries were observed sitting on the ground outside of the northern shop/ office building. WGI did not observe any evidence of a release, staining, or odor in the vicinity of these waste batteries.
Hazardous materials placards	Not observed
Floor drain	Not observed
Elevator / lift	Not observed
Grease trap	Not observed
Other	Not observed

The subject property was vacant as of the date of the site inspection. Previous uses (based on City Directory listings) include dog kennels, construction offices, racing team offices, and tractor-trailer and truck/construction equipment parking/storage. There are 15 structures on the subject property. A small, wood-framed guardhouse is located at the western boundary of the property, near the access/egress to Benoist Farms Road. East of the guardhouse area two larger concrete block buildings previously used as construction offices and storage space. Both of these buildings were found locked and inaccessible for inspection. East of the offices, 12 approximately 256 sq ft wood-framed former dog kennel buildings occupy the southern half of the subject property. Several of these structures where furniture and other household items were abandoned were accessible and their interiors inspected. WGI did not observe any evidence of the past or present storage, use, release, or disposal of hazardous substances or petroleum products, including significant sources of PFAS or PFOA, within the interior of the inspected structures.

The concrete pad where the former 500-gallon diesel AST was observed during WGI's 2019 due diligence site inspection was inspected. No odors or staining were observed in the vicinity of the former AST's concrete pad.

There is one rusted empty 55-gallon drum lying on its side on the western edge of the property. The original contents are unknown. There are a couple of empty IBCs found onsite near the former dog kennel buildings. The contents of the IBCs were unknown. No staining or odors were evident around the 55-gallon drum or the IBCs.

A few 5-gallon unlabeled buckets filled with unknown substances were present outside of the two previous officer/office buildings. The buckets are believed to be petroleum-based products as automotive work was conducted in this area of the subject property.

North of the buildings is a stormwater detention area (matching the former surface water feature seen in historical aerial photographs and topographic maps). WGI observed evidence of underground utilities, including sanitary sewer in the form of a lift station east of the former kennel buildings.

During the site inspection, WGI did not observe any evidence of the storage, use, release, or disposal of hazardous substances including significant sources of PFAS or PFOA, or petroleum products, to the subject property. Therefore, WGI did not observe any RECs on the subject property.

6.3 Site Inspection of Adjoining and Surrounding Properties

WGI walked around the perimeter of the subject property (as allowed by access) and conducted a windshield inspection of adjoining properties.

Immediately north and east of the subject property is the Community Asphalt Corporation office and plant. Southeast of the subject property WGI observed evidence of a former plant nursery, now abandoned. Southwest of the subject property is an empty lot where empty dumpsters are stored. West of the subject property is Benoist Farms Road with two industrial businesses formally known as Pick Your Part and Ron Kendall Masonry Beyond.

WGI did not observe any evidence of the storage, use, release, or disposal of hazardous substances including significant sources of PFAS or PFOA, or petroleum products, on adjoining properties. Therefore, WGI does not consider any of the adjoining properties to constitute a REC to the subject property.

7.0 INTERVIEWS

7.1 Interviews with Owner

The User indicated that Patrick McBride was a site manager with knowledge of the subject property and the current owner was Outour Acquisitions, LLC. WGI emailed an Interview Questionnaire to Mr. McBride who suggested WGI contact Andrei Danshes.

On 03/17/2025, WGI called Mr. Danshes, vice president of Outour Acquisitions, LLC who had knowledge of the subject property. Mr. Danshes stated he has no knowledge of any fuel storage tanks or any hazardous substances or petroleum products on the subject property since 2022. Mr. Danshes reported no known contamination of soil or groundwater from on-site activities or from sites surrounding the subject property. Mr. Danshes reported the subject property was used as a dog kennel and truck parking in the past.

7.2 Interviews with Site Manager

Patrick McBride was also identified as the site manager. See Section 7.1 for his responses.

7.3 Interviews with Occupants

The site is vacant; there are no occupants.

7.4 Interviews with Local Government Officials

Recent and historical information from local governments was obtained online from FDEP and the County, as presented in Section 4. No others with knowledge of the subject property were identified.

7.5 Interviews with Others

No others with potential knowledge of the subject property were identified.

8.0 EVALUATION, FINDINGS AND OPINION

8.1 Findings and Opinion

1. The subject property was undeveloped until the 1950s when there was apparent clearing and heavy earthwork that appears to be associated with the adjoining borrow pit and landfilling activities which primarily occurred offsite to the northeast and east.
2. Between 1964 and 1968, twelve approximately 256 sq ft wood-frame buildings were constructed in two rows on the southern half of the site. Based on information obtained from prior investigations, these structures were originally used as dog kennels. Simultaneously, a guard shack was constructed at the entrance located at the western boundary of the subject property. Two concrete block buildings constructed between 1973 and 1975 were used as construction offices and storage areas. All 15 buildings remain today. An unpaved parking area located on the northern portion of the subject property where the tractor-trailers and construction equipment were parked was developed between 2021 and 2022.
3. No odors or staining were observed in the vicinity of the former AST pad.
4. The subject property is not listed in any reasonably ascertainable federal, tribal, state, or local environmental regulatory records. WGI found no database evidence or visual evidence of underground storage tanks (USTs) either now or in the past.
5. Based on a review of FDEP records, review of historical aerial photographs, and field reconnaissance, WGI found no evidence of any cattle dip vats on or adjoining the subject property.
6. HRECs (Historical Recognized Environmental Conditions, not considered RECs):
 - None. There is no evidence of a past release of any hazardous substances or petroleum products that has affected the subject property and has been addressed to the satisfaction of the applicable regulatory authority and meets unrestricted use criteria established by a regulatory authority without subjecting the property to any controls.
7. *De minimis* conditions (not considered RECs) included:
 - None. There is no evidence of a condition related to a release that generally does not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.
8. The User provided no evidence of any ELs or AULs in connection with the subject property. WGI found no evidence of any ELs or AULs during a supplementary search.
9. The area surrounding the subject property has a long history of various commercial / industrial uses including borrow pit mining, landfills, asphalt material production, material recycling facilities, automobile salvage yards, and similar facilities. WGI found no evidence that surrounding areas have contaminated the subject property by migration, including solids or liquids migrating at the surface (e.g., contamination in stormwater runoff) or migrating in the subsurface (e.g., groundwater plume flowing under the subject property, or soil vapor migrating through the vadose zone).
10. It is WGI's opinion that the information obtained during the preparation of this report is sufficient to evaluate whether or not one or more RECs or *de minimis* conditions exist.

8.2 Significant Data Gaps

No significant data gaps were noted.

8.3 Limiting Conditions and Deviations

There were no significant limiting conditions. Any routine limiting conditions associated with the field investigation are listed in Section 6.1. WGI does not believe the limiting condition(s) are significant because other information obtained

during this assessment and our professional experiences did not raise reasonable concerns involving the limiting condition(s) or impede our ability to identify RECs to the subject property.

There were no significant deletions or deviations from ASTM E1527-21 other than the following:

- The User did not provide the results of a full EL/AUL search.

WGI does not believe the deletion or deviation is significant because other information obtained during this assessment and our professional experiences did not raise reasonable concerns involving the deletion / deviation or impede our ability to identify RECs to the subject property.

9.0 CONCLUSIONS

Recognized Environmental Conditions

WGI has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-21 of approximately 9.466 acres of land at 100 N Benoist Farms Road, West Palm Beach, Florida, the subject property. Any exceptions to, or deletions from, this practice are described in Sections 1.4 and 8.0 of this report.

This assessment has revealed no recognized environmental conditions, controlled recognized environmental conditions, or significant data gaps in connection with the subject property.

RECs (Recognized Environmental Conditions):

- None. There is no evidence of a release, likely release, or a material threat of a release of a hazardous substance or petroleum product on the subject property.

CRECs (Controlled Recognized Environmental Conditions):

- None. There is no evidence of any hazardous substances or petroleum products affecting the subject property that have been allowed to remain in place subject to the implementation of required controls (for example, property use restrictions or engineering controls).

Additional Investigation

It is WGI's opinion that the information obtained during preparation of this report is sufficient to evaluate whether or not one or more RECs or *de minimis* conditions exist. WGI recommends no additional investigation as part of Phase I ESA activities.

Recommendations

Recommendations for Phase II ESA or other assessment activities are specifically not required by ASTM E1527-21. If applicable, WGI will provide any recommendations separately.

10.0 BUSINESS ENVIRONMENTAL RISKS AND NON-SCOPE CONSIDERATIONS

Business Environmental Risks

A “business environmental risk” is defined under ASTM Practice E1527-21 as a risk that can have a material environmental or environmentally driven impact on the business associated with the current or planned use of commercial real estate, not necessarily related to those environmental issues required to be investigated under ASTM E1527-21.

The following business environmental risk(s) are identified:

- None.

Additional Services, Non-ASTM E1527-21 Scope Issues

Other risk issues may involve one or more of the following considerations which are not part of the scope of ASTM Practice E1527-21:

- Asbestos-containing building materials
- Biological agents
- Building Condition Assessment
- Cultural or historical resources
- Ecological resources
- Endangered species
- Health and safety
- Indoor Air Quality (IAQ, unrelated to releases of hazardous substances or petroleum products into the environment)
- Industrial hygiene
- Lead-based paint unrelated to releases into the environment
- Lead in drinking water
- Mold or microbial growth conditions
- PCB-containing building materials (e.g., interior fluorescent light ballasts, paint, and caulk)
- Naturally-occurring radon
- Regulatory compliance
- Substances not defined as hazardous (including some substances sometimes generally referred to as emerging contaminants, including but not limited to, per and polyfluoroalkyl substances, PFAS, with the exception of CERCLA-listed PFOS and PFOA).
- Wetlands

Assessment of these risks relative to the considerations listed above were not requested by the User as part of the Phase I ESA, and additional services were not provided.

11.0 STATEMENT AND SIGNATURE(S) OF ENVIRONMENTAL PROFESSIONAL(S)

Project: 100 N Benoist Farms Road in West Palm Beach, Florida


Client: Saltz Michelson Architects, Professional Corporation

Users: Saltz Michelson Architects, Professional Corporation
Palm Beach County Health District

Environmental Firm: WGI, Inc., 2035 Vista Parkway, West Palm Beach, FL 33411

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in § 312.10 of 40 CFR § 312.

I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.



Leroy Feeney
Remediation Specialist
WGI

03/17/2025
Date

12.0 QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONAL(S)

Statement of Qualifications

WGI, Inc. (www.wginc.com) is a multidisciplinary consulting firm with a history that dates back to 1972. WGI currently employs approximately 600 highly-skilled and experienced professionals. WGI provides the following service lines: civil engineering, structural engineering, surveying and mapping, subsurface utility engineering, water resources, landscape architecture, environmental, and land planning. Environmental services include Phase I and II Environmental Site Assessments, contamination remediation planning and design, construction-phase technical oversight of remediation, NEPA assessments, wetland mitigation, protected species relocation, arborist services, and environmental permitting. WGI's corporate headquarters is in West Palm Beach and branch offices are located throughout the United States.

Key Personnel

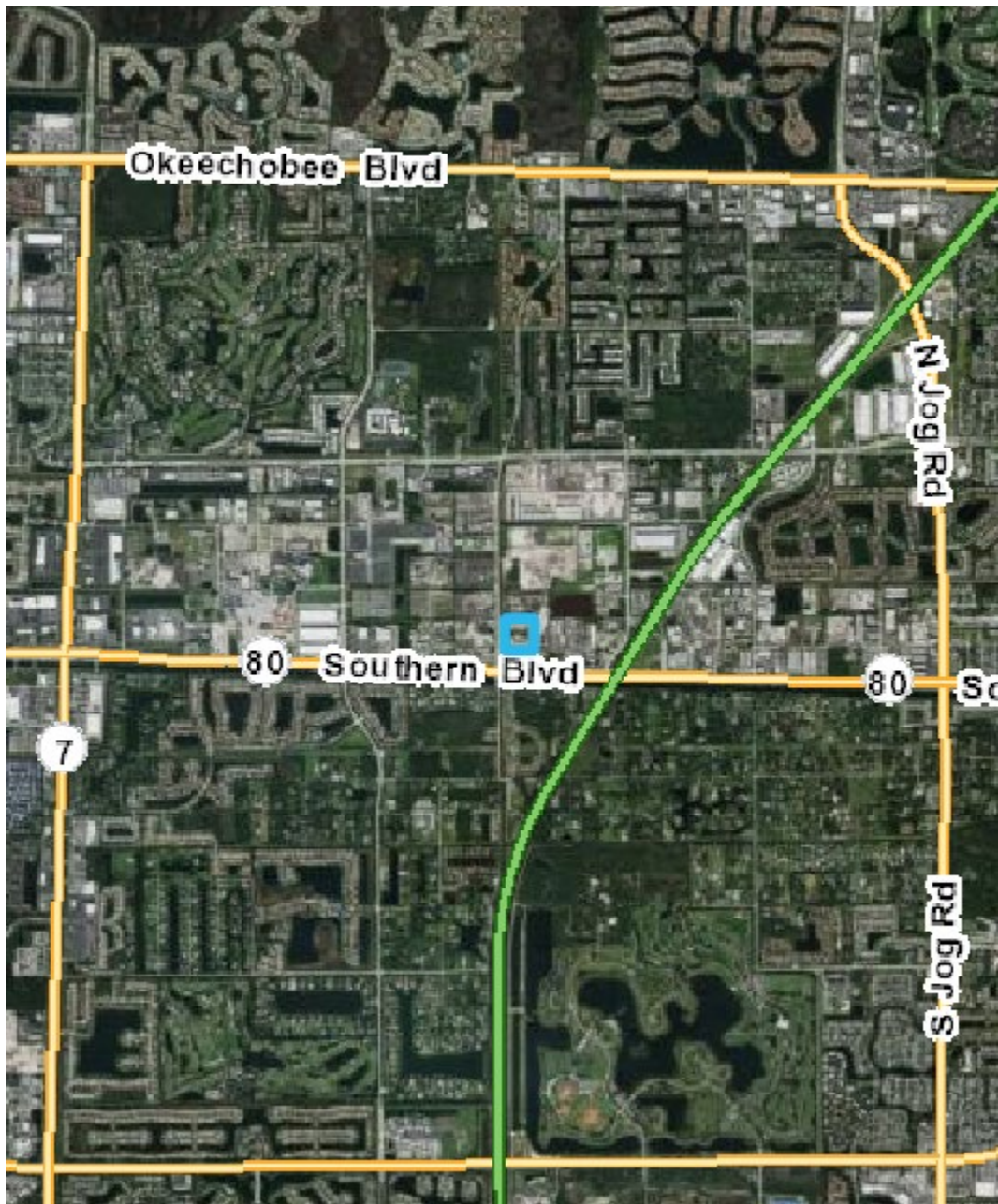
The qualifications, expertise and experience of the key participants involved in conducting and preparing the Phase I ESA are provided below.

Mike Fisher, PG, CEP: Mr. Fisher has a B.S. in Geology (University of New Hampshire, 1979) and a Master of Environmental Assessment (M.E.A., North Carolina State University, 2016). He is a multi-jurisdiction registered Professional Geologist (in Florida, Georgia, and Mississippi) and a Certified Environmental Professional (by Eminence). Mr. Fisher has over 30 years of environmental consulting experience. He has led characterization and remediation planning for a variety of projects including, but not limited to, chlorinated solvent plumes at manufacturing and dry-cleaning facilities, petroleum contamination from USTs and bulk storage facilities and RCRA metals and pesticide contamination at golf courses, agricultural tracts, marinas, government infrastructure facilities and landfills. Sites ranged in complexity from de minimis impacts to the largest environmental problems in the State. Mr. Fisher determined the nature and extent of contamination. This included developing Conceptual Site Models and Data Quality Objectives, identifying data needs, preparing sampling and analysis plans, interpreting the analytical data, and supporting contaminant migration modeling for risk-based closures. Mr. Fisher has also assumed responsible for managing data uncertainties, identifying and screening remedial technologies, and developing, designing, and implementing a variety of cost-effective active and passive remedial strategies. At WGI, Mr. Fisher is responsible for developing site assessment plans, providing defining and managing technical oversight of drilling, sample collection, evaluating analytical data, preparing Site Assessment Reports and Remedial Action Plans, and managing technical oversight of the cleanup. Mr. Fisher has been conducting Phase I and II Environmental Site Assessments since 1989.

Leroy Feeney: Mr. Feeney has a bachelor's degree and 10 years of experience in environmental consulting. He has conducted site assessments, subsurface investigations, and remediation oversight for commercial, petroleum and utility clients. He supported a range of land development projects including development of agricultural areas, commercial sites, urban and industrial areas. He has also supported contamination assessments of roadway corridors and other infrastructure projects.

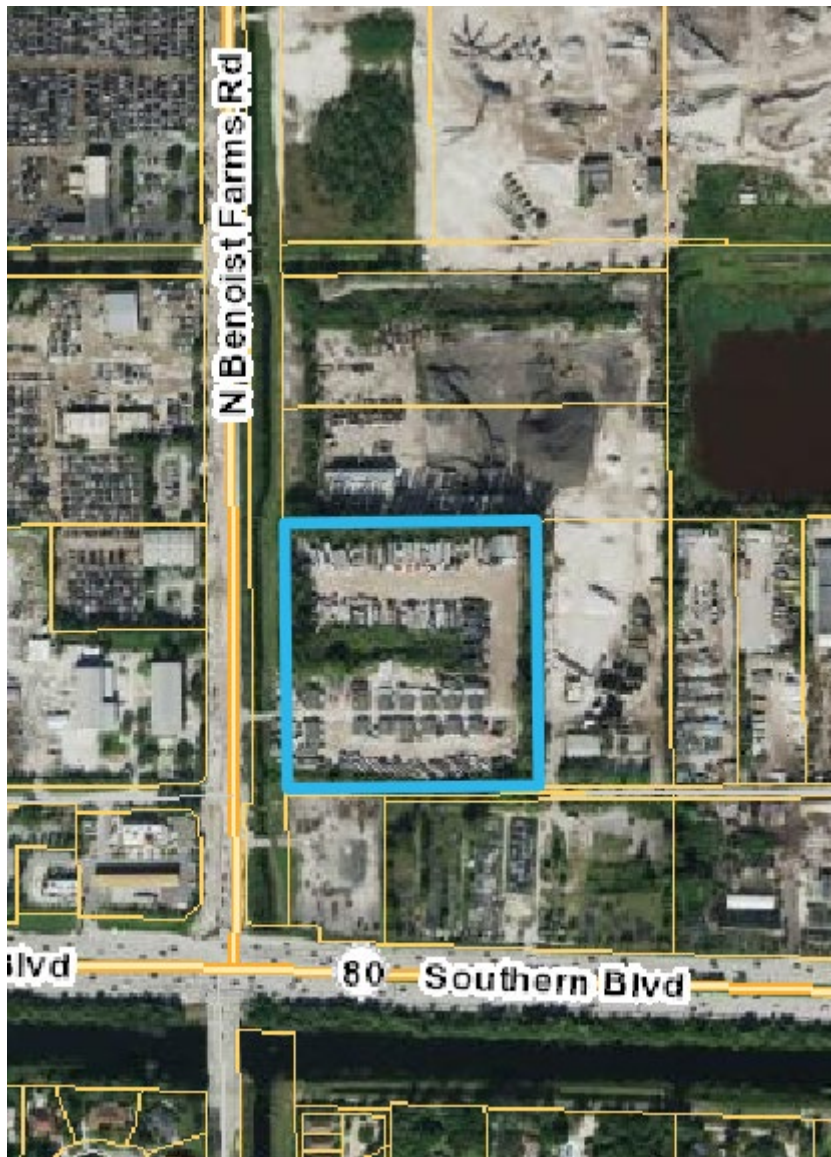
Rachel Starck: Ms. Starck holds a B.S. in geosciences and has one year of experience in environmental science and due diligence work for land development projects. She has contributed to a variety of land development initiatives including agricultural development, commercial and industrial sites, urban areas and golf course redevelopments. Her expertise includes environmental assessments and supporting compliance with environmental regulations throughout the development process.

Appendix A: Maps



Location Map

(source: County Property Appraiser's website, 2024)



Vicinity Map

(source: County Property Appraiser's website, 2024)



Map of the Subject Property
(source: County Property Appraiser's website, 2024)

Appendix B: User Provided Information

Phase 1 Environmental Site Assessment User Questionnaire

In accordance with the Standard Practice for Environmental Site Assessments ASTM Designation E1527-13, the Environmental Professional (WGI) shall obtain the following information from the User (Client) for the Phase 1 ESA. This information is important to ensure the accuracy of the final report and the identification of Recognized Environmental Conditions. Failure to provide this information could result in a determination that "all appropriate inquiries" is not complete. Please provide the following information (as available). This information will be included in the Phase 1 ESA Report.

User Information (The User is the party seeking to use Practice E1527-13 to complete a Phase 1 ESA of the Property)
User Name: Health Care District of Palm Beach County
User Contact Name: Audrey Wolf, Facilities Development Consultant, Terry Megiveron, Director Construction Services
User Phone Number(s): 561-632-1767 ALW, 206-595-9599 TM
User Address: 1515 N. Flagler Dr., West Palm Beach, FL 33401
Identify any other Users who will rely on this Phase 1 ESA: N/A
Please indicate the reason why the Phase 1 ESA is requested: <input type="checkbox"/> User intends to purchase the Property <input type="checkbox"/> User intends to lease the Property <input type="checkbox"/> User needs a loan and intends to use Property as collateral <input checked="" type="checkbox"/> Other (describe): Phase 1 ESA to be included in pre-purchase due diligence study. <input type="checkbox"/> User intends to sell the Property <input type="checkbox"/> User intends to refinance the Property
Property Information (provide map or sketch)
Property Name: 100 N. Benoist Farms Rd Property
Property Address(es): 100 N. Benoist Farms Rd, West Palm Beach, FL
Property ID Number(s): 00-42-43-27-05-006-3100
Individuals who may have knowledge of the Property Unless specified otherwise below, the Environmental Professional may contact these individuals to complete the Interview Section of the Phase 1 ESA.
Site Manager(s) with knowledge of Property (name & phone or email): Patrick McBride, SIOR, Esq. Principal, ComReal. 3470 NW 82nd Avenue, Suite 605, Doral, FL 33122. PMcBride@ComReal.com 305-619-2937
Current Owner(s)/Operator(s) of the Property (name & phone or email): Outour Acquisitions, LLC, C/O 309 E Paces Ferry Rd NE, Ste 400, Atlanta GA, 30305-2319
Past Owner(s)/Operator(s) of the Property (name & phone or email): Brown Landholding Inc.
Knowledgeable Occupants (name & phone or email): N/A

**Phase 1 Environmental Site Assessment
User Questionnaire**

Others (name & phone or email): [Patrick McBride, PMcBride@ComReal.com](mailto:Patrick.McBride@ComReal.com)
[Andrei Danshes, andanshes@outourstorage.com](mailto:Andrei.Danshes@outourstorage.com)

Do NOT contact the following: [Click here to enter text.](#)

User / Client Reporting Obligation

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the "Brownfield Amendments"), the User must conduct the following inquiries required by 40 CFR 312.25, 312.28, 312.29, 312.30, and 312.31. The User should provide the following information to the Environmental Professional. Failure to conduct these inquiries could result in a determination that "all appropriate inquiries" is not complete.

Environmental liens that are filed or recorded against the Property (40 CFR 312.25):

Did a search of recorded land title records (or judicial records where appropriate¹) identify any environmental liens filed or recorded against the Property?

Yes No No Search Conducted (if yes please explain and provide copies of such information) [Click here to enter text.](#)

Activity and Use Limitations (AULs) that are in place on the Property or that have been filed or recorded against the Property (40 CFR 312.26(a)(1)(v) and vi):

Did a search of recorded land title records (or judicial records where appropriate¹) identify any AULs, such as engineering controls (e.g., engineering caps, foundations, liners, treatment methods, etc. that may be been instated to prevent direct exposure to affected soil, or used to prevent contamination from migrating to surrounding areas), land use restrictions or institutional controls (e.g., deed restrictions, covenants, and/or administrative measures restricting the use of soils, groundwater, construction, redevelopment, or property use) that are in place at the Property and/or have been filed or recorded against the Property under federal, tribal, state or local law?

Yes No No Search Conducted (if yes please explain and provide copies of such information)
[Click here to enter text.](#)

Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.28):

Do you have any specialized knowledge or experience related to the Property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the Property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?

Yes No (if yes please explain)
[Click here to enter text.](#)

Relationship of the purchase price to the fair market value of the Property if it were not contaminated (40 CFR 312.29):

Do you have knowledge that the purchase price of the Property has been reduced below comparable properties, due at least in part to contamination being known or believed to be present at the Property?

Yes No (if yes please explain)
[Click here to enter text.](#)

¹ In certain jurisdictions, federal, tribal, state, or local statutes, or regulations specify that environmental liens and AULs be filed in judicial records rather than in land title records. In such cases judicial records must be searched for environmental liens and AULs.

**Phase 1 Environmental Site Assessment
User Questionnaire**

Commonly known or reasonably ascertainable information about the Property (40 CFR 312.30):

Are you aware of commonly-known or reasonably-ascertainable information about the Property that would help the Environmental Professional identify conditions indicative of releases or threatened releases, for example:

a) Do you know the past uses of the Property?

Yes No (if yes please explain)

Only those identified on PAPA or contained within the draft WGI report.

b) Do you know of specific chemicals that are present or once were present at the Property?

Yes No (if yes please explain)

Only those identified in the draft WGI report

c) Do you know of spills or other chemical releases that have taken place at the Property?

Yes No (if yes please explain)

Only those identified in the draft WGI report

d) Do you know of any environmental cleanups that have taken place at the Property?

Yes No (if yes please explain)

Only those identified in the draft WGI report

e) Do you have any other knowledge or experience with the Property that may be pertinent to the Environmental Professional (e.g., copies of previous environmental reports, documents, or correspondence concerning the Property and its environmental condition?)

Yes No (if yes please explain and provide copies of such information)

Only those identified in the draft WGI report

f) Are you aware of any commonly known or reasonably ascertainable information within the local community about the Property that is material to RECs (Recognized Environmental Conditions) in connection with the Property?

Yes No (if yes please explain and provide copies of such information)

Only those identified in the draft WGI report

The degree of obviousness of the presence or likely presence of contamination at the Property, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31):

Based on your knowledge and experience related to the Property, are there any obvious indicators that point to the presence or likely presence of releases at the Property?

Yes No (if yes please explain)

Only those identified in the draft WGI report.

Phase 1 Environmental Site Assessment User Questionnaire

Scope of Services

The Phase 1 ESA will be performed within requirements the Standard Practice for Environmental Site Assessments ASTM Designation E1527-13, which does not include the assessment for other potential Business Environmental Risks that may affect the impending commercial property transaction. As such, the User/Client may require an expanded scope of services in addition to the Phase 1 ESA.

The following additional environmental assessment activities are above and beyond the standard Phase1 ESA scope as defined in the Standard Practice for Environmental Site Assessments ASTM Designation E1527-13. If any of these services are desired, please contact WGI for a separate proposal.

- Environmental Lien and Activity and Use Limitations (AULs) search
- Soil or groundwater testing
- Asbestos-Containing Materials Assessment
- Radon Assessment
- Lead-Based Paint Assessment
- Lead in Drinking Water Assessment
- Wetland Delineation **X**
- Regulatory Compliance including Health and Safety Assessment
- Threatened or Endangered Species Assessment **X**
- Mold and Mildew Assessment
- Cultural and Historic/Archaeological Resources Assessment
- Building Condition Assessment
- Other environmental, planning, surveying, or engineering **X**





Authorization

I am the User, or have been authorized to complete this form on behalf of the User, and have completed it to the best of my knowledge and experience:

Name (typed or printed) **Audrey Wolf, Facilities Development Consultant**

Date: **March 13, 2025**

Appendix C: Photographs

					
Photo number: 1 Date: 02/10/2025 Direction: SW	View of the abandoned dog kennels along the northern side of the property.		Photo number: 2 Date: 02/10/2025 Direction: SW	View of the easternmost abandoned dog kennels.	
					
Photo number: 3 Date: 02/10/2025 Direction: NE	View of the abandoned kennels on the southern edge of the property		Photo number: 4 Date: 02/10/2025 Direction: SE	View of the abandoned kennels on the western edge of the property	





			
Photo number: 5	Former truck trailer/construction equipment storage lot	Photo number: 6	Former location of 500-gallon AST and empty rusted unlabeled 55-gallon drum
Date: 02/10/2025		Date: 02/10/2025	
Direction: SW		Direction: W	
			
Photo number: 7	Pole-mounted electrical transformer.	Photo number: 8	Dumpster found on the western edge of the property
Date: 02/10/2025		Date: 02/10/2025	
Direction: NW		Direction: NW	

			
Photo number: 9 Date: 02/10/2025 Direction: SE	Sewage lift station	Photo number: 10 Date: 02/10/2025 Direction: NE	Stormwater detention basin
			
Photo number: 11 Date: 02/10/2025 Direction: SW	Stormwater detention basin	Photo number: 12 Date: 02/10/2025 Direction: E	<i>Offsite:</i> Adjoining North-community asphalt corporation

			
Photo number: 13	<i>Offsite:</i> Adjoining east community asphalt corporation	Photo number: 14	<i>Offsite:</i> Adjoining south-dumpster trailer storage lot
Date: 02/10/2025		Date: 02/10/2025	
Direction: N		Direction: NE	
			
Photo number: 15	<i>Offsite:</i> Adjoining south-former Southern Gardens Nursery.	Photo number: 16	<i>Offsite:</i> Adjoining west-LKA Pick Your Part.
Date: 02/10/2025		Date: 02/10/2025	
Direction: NE		Direction: NW	


			
Photo number: 17 Date: 02/10/2025 Direction: W	<i>Offsite:</i> Adjoining west-Ron Kendall Masonry.	Photo number: 18 Date: 02/10/2025 Direction: S	Typical view inside one of the abandoned dog kennels.
			
Photo number: 19 Date: 02/10/2025 Direction: NW	View outside one of the abandoned dog kennels.	Photo number: 20 Date: 02/10/2025 Direction: SE	Photo of various 5-gallon containers outside of shop/ office buildings.



Photo number: 21
 Date: 02/10/2025
 Direction: SE

Photo of a 5-gallon engine oil container outside one of the shop/ office buildings.



Photo number: 22
 Date: 02/10/2025
 Direction: SE

Photo of two car batteries outside of the shop/ office building.



Photo number: 23
 Date: 02/10/2025
 Direction: NW

Photo of a 5-gallon container of latex paint on the western edge of the property.

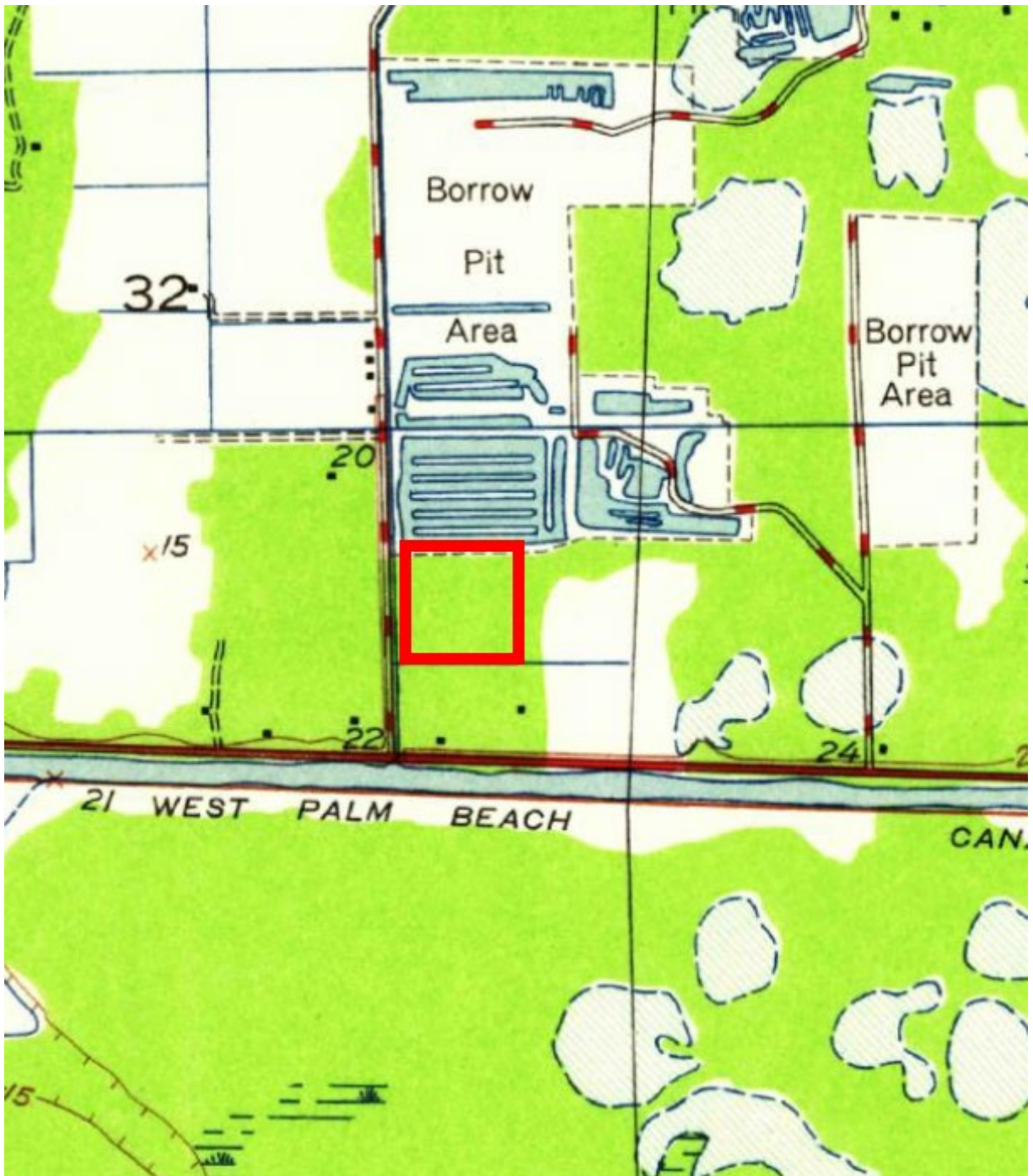
Appendix D: Historical Aerial Photographs, Fire Insurance Maps, and Topographic Maps

Due to poor georeferencing and other sources of error in historical records, the property limits may not be precise.

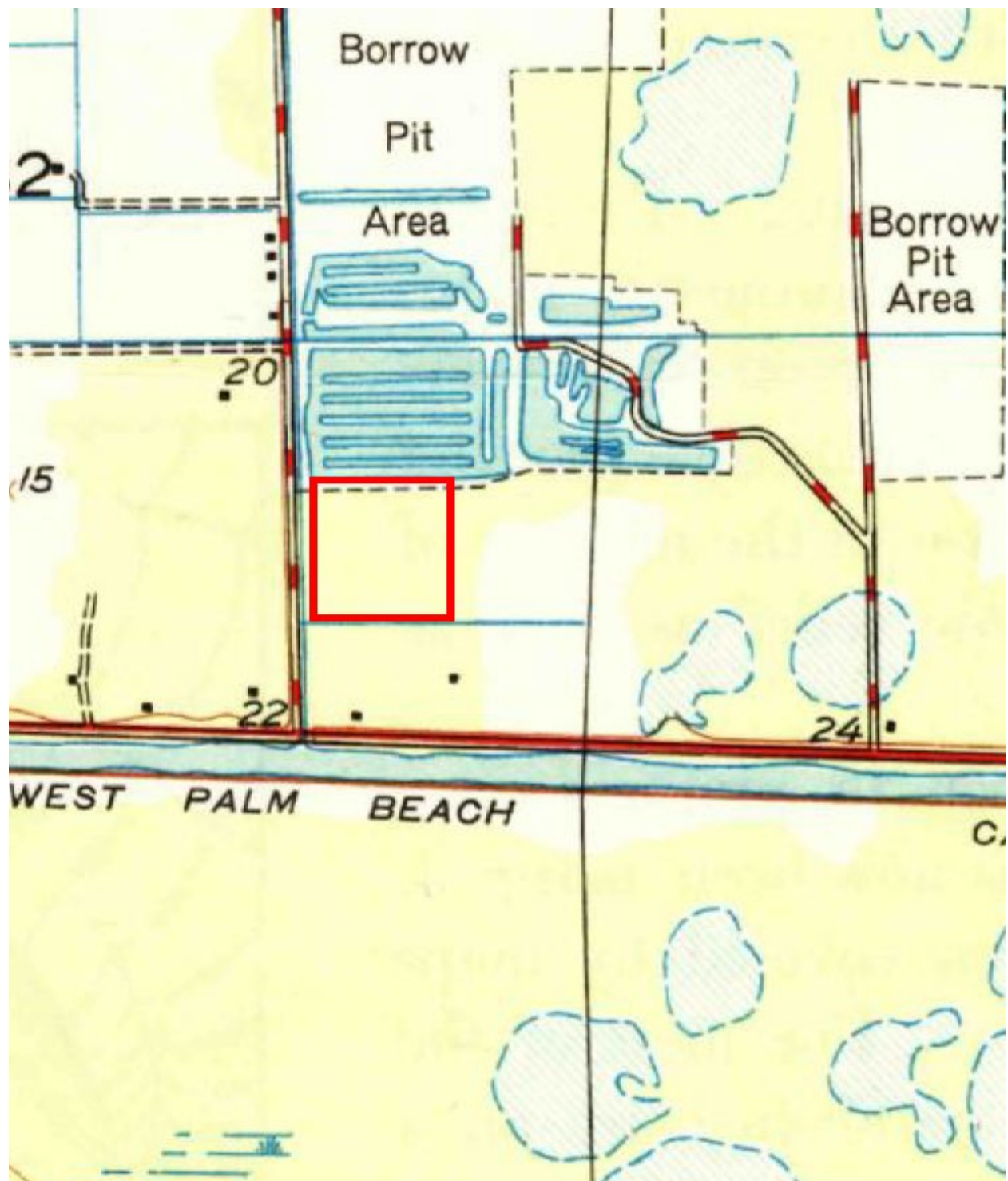
Fire insurance maps may be absent if they are not available for this area.



1940 aerial photograph – poor quality
(source: EDR, 2025)



Historical Topographic Map, 1946
(source: EDR 2025)



Historical Topographic Map, 1949
(source: EDR 2025)



1953 aerial photograph
(source: EDR, 2025)



1958 aerial photograph
(source: EDR, 2025)



1964 aerial photograph
(source: EDR, 2025)



Historical Topographic Map, 1967
(source: EDR 2025)



1968 aerial photograph
(source: EDR, 2025)



1973 aerial photograph
(source: EDR, 2025)



1975 aerial photograph
(source: EDR, 2025)



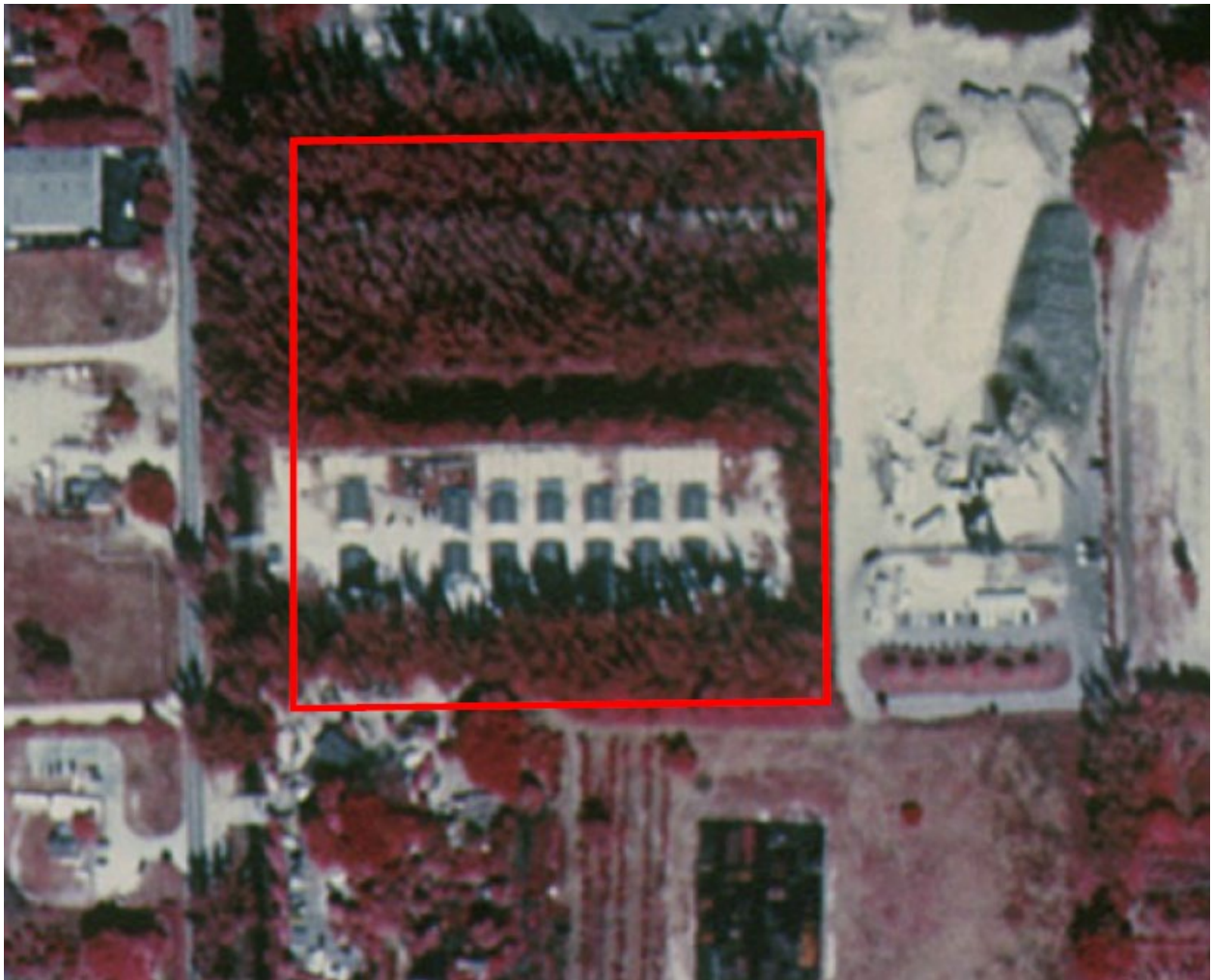
Historical Topographic Map, 1983
(source: EDR 2025)



1986 aerial photograph
(source: EDR, 2025)



1991 aerial photograph
(source: EDR, 2025)



1995 aerial photograph
(source: EDR, 2025)



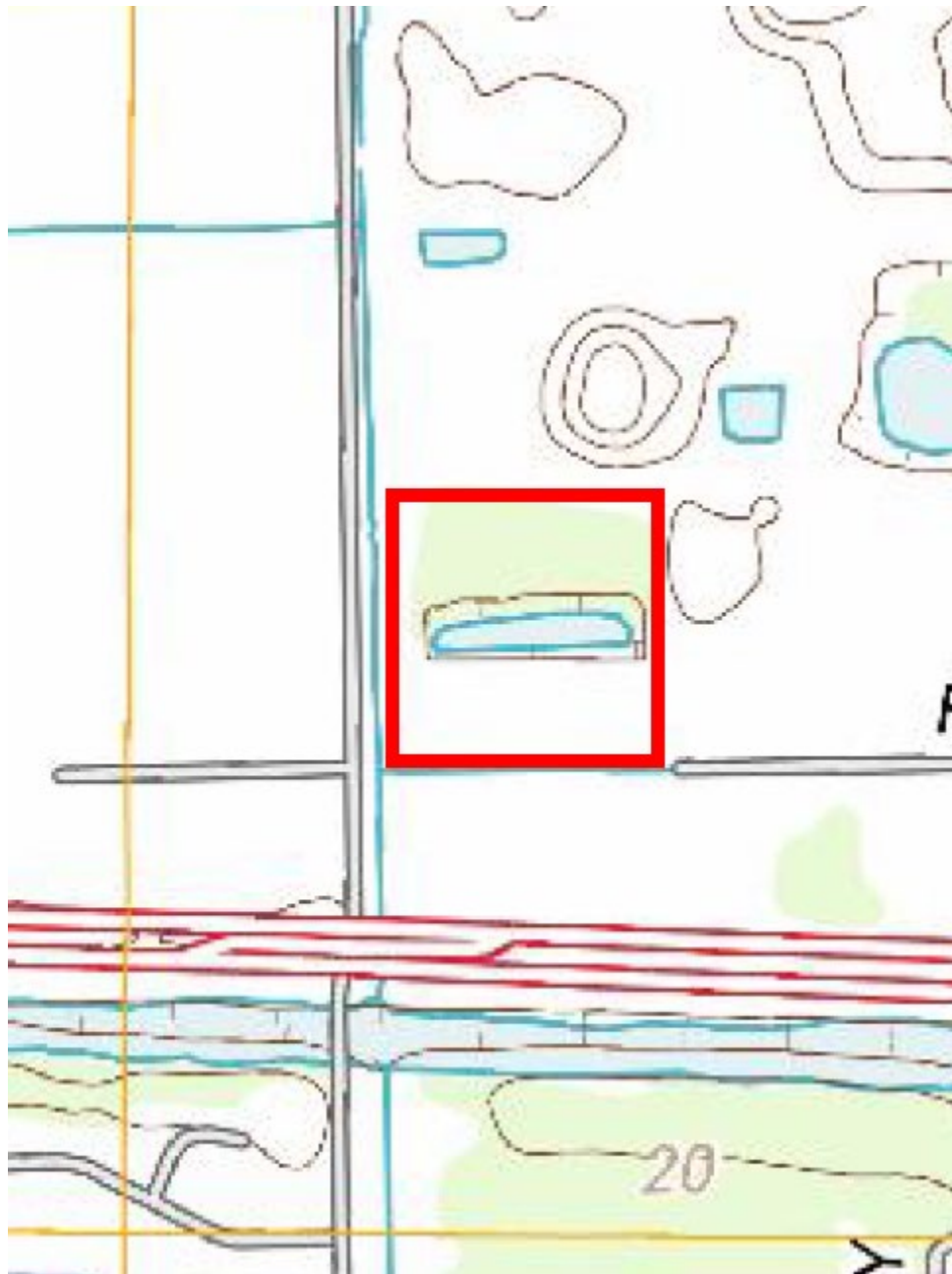
1999 aerial photograph
(source: EDR, 2025)



2007 aerial photograph
(source: EDR, 2025)



2010 aerial photograph
(source: EDR, 2025)



Historical Topographic Map, 2012
(source: EDR 2025)



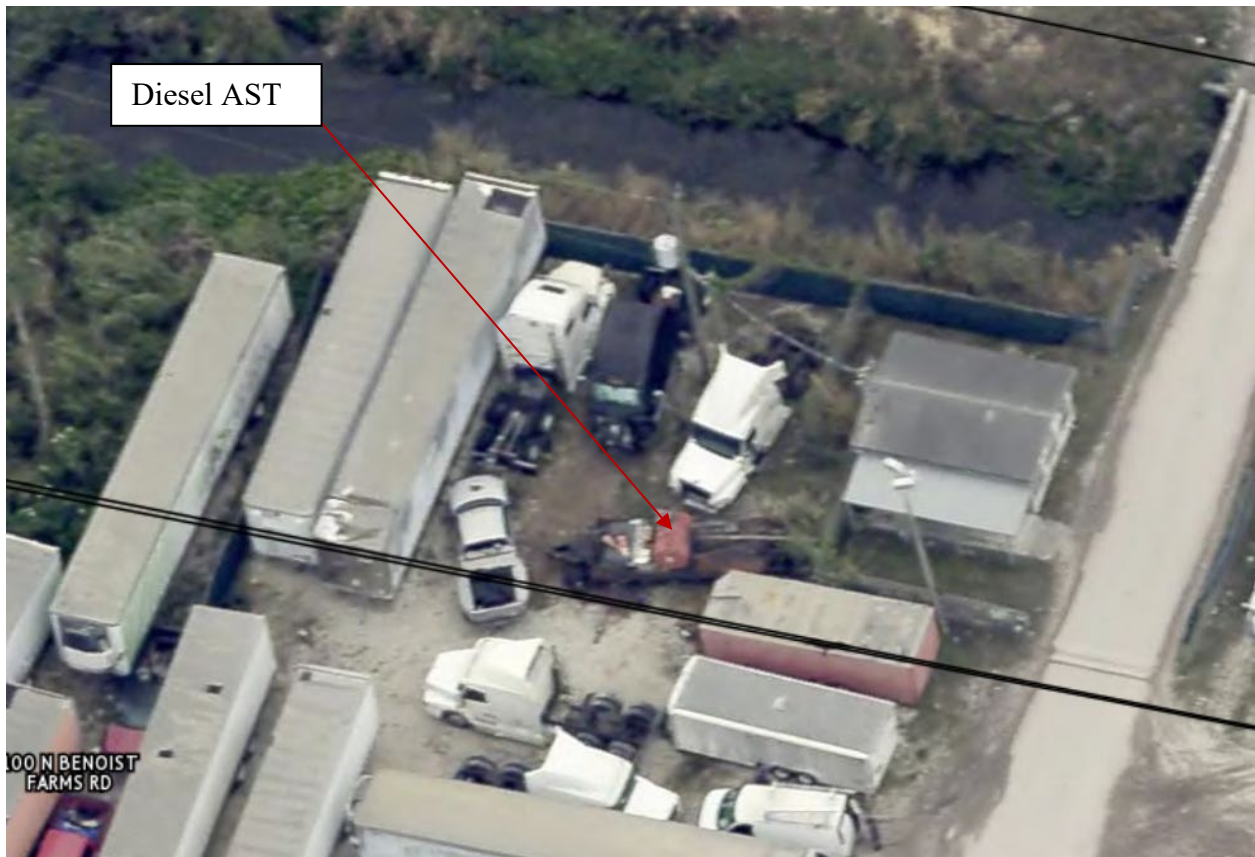
2015 aerial photograph
(source: EDR, 2025)



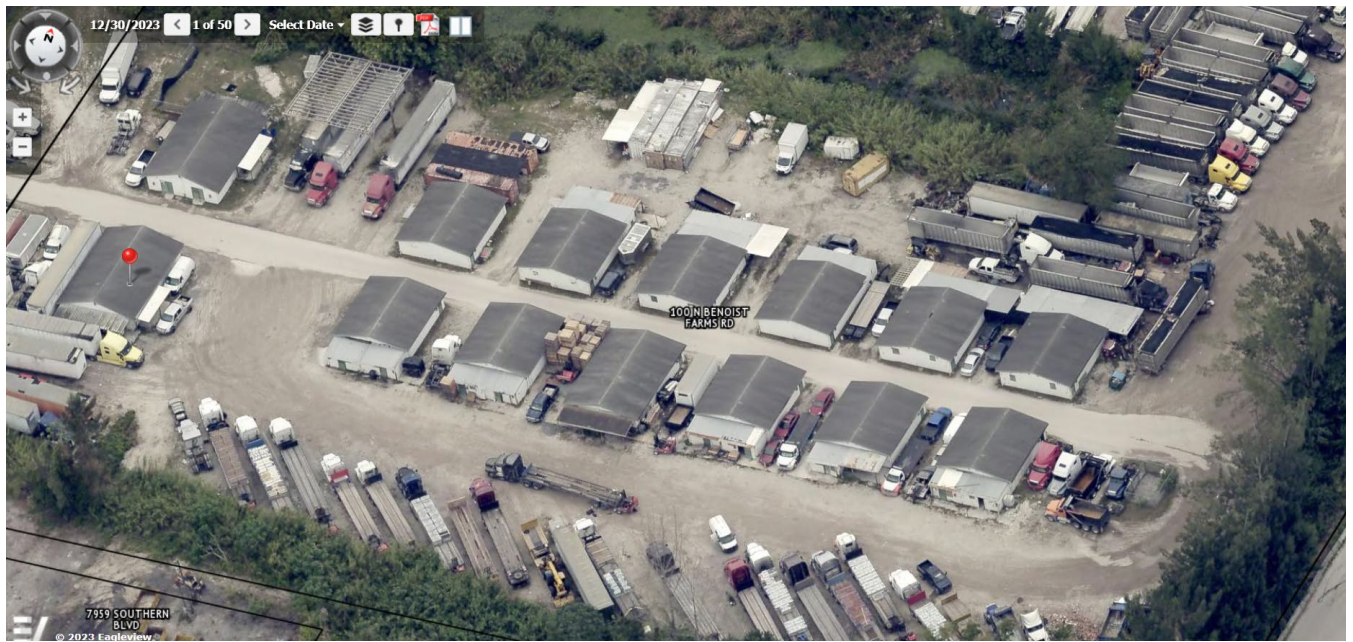
2019 aerial photograph
(source: EDR, 2025)



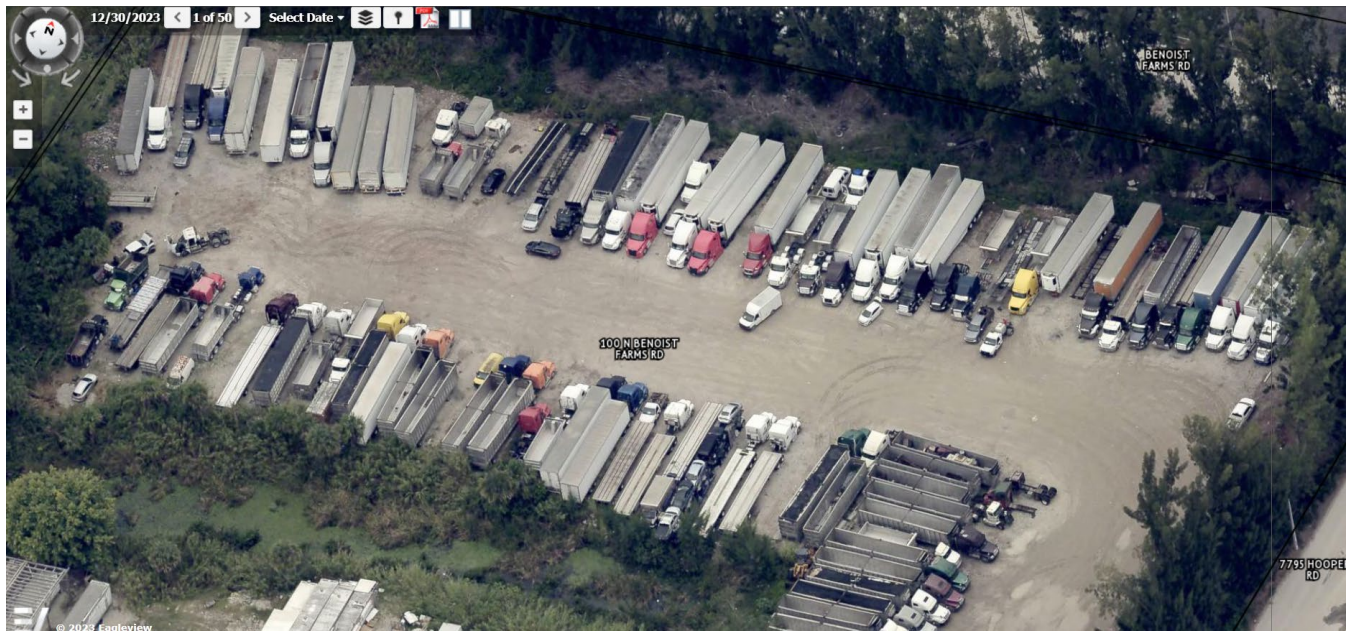
2024 aerial photograph
(source: County Property Appraiser's Map, 2024)



2023 aerial photograph – Diesel AST
(source: County Property Appraiser's Map, 2023)



2023 aerial photograph – Tractor Trailer and Construction Equipment Storage (south side)
(source: County Property Appraiser's Map, 2023)



2023 aerial photograph – Tractor Trailer and Construction Equipment Storage (north side)
(source: County Property Appraiser's Map, 2023)

Appendix E: Government Agency File Review and Search Report

Benoist Farms

100 N Benoist Farms Rd
West Palm Beach, FL 33411

Inquiry Number: 7891256.2s
February 06, 2025

EDR Summary Radius Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	8
Orphan Summary	303
Government Records Searched/Data Currency Tracking	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting SSURGO Soil Map	A-5
Physical Setting Source Map	A-14
Physical Setting Source Map Findings	A-16
Physical Setting Source Records Searched	PSGR-1

Thank you for your business.
 Please contact EDR at 1-800-352-0050
 with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E1527 - 21), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E2247 - 16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E1528 - 22) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

100 N BENOIST FARMS RD
WEST PALM BEACH, FL 33411

COORDINATES

Latitude (North): 26.6817090 - 26° 40' 54.15"
Longitude (West): 80.1728370 - 80° 10' 22.21"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 582300.1
UTM Y (Meters): 2951283.2
Elevation: 18 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property: TP
Source: U.S. Geological Survey

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20191120
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
100 N BENOIST FARMS RD
WEST PALM BEACH, FL 33411

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	BE BACK MOTORS	200 BENOIST FARMS RD	HAZ WASTE	Higher	103, 0.020, SW
2	COMMUNITY ASPHALT CO	7795 HOOPER RD	AST	Higher	163, 0.031, ESE
A3	CGA STONE CASTING LL	101 BENOIST FARMS RD	HAZ WASTE	Higher	186, 0.035, WSW
A4	BURNS O D INC	101 BENOIST FARM ROA	EDR Hist Auto	Higher	186, 0.035, WSW
A5	CGA STONECASTING LLC	101 N BENOIST FARMS	HW GEN, NPDES	Higher	186, 0.035, WSW
A6	RON KENDALL MASONARY	101 BENOIST FARMS RD	UST	Higher	186, 0.035, WSW
A7	K & T STONEWORKS	101 BENOIST FARMS RD	RCRA-VSQQ	Higher	186, 0.035, WSW
A8	CGA STONECASTING LLC	101 N BENOIST FARMS	RCRA-SQG	Higher	186, 0.035, WSW
A9	FREUND IRWIN TRUST P	101 BENOIST FARMS RD	DWM CONTAM, RESP PARTY, NPDES, ERIC WASTE CLEANUP	Higher	186, 0.035, WSW
10	PALM BEACH CNTY-FIRE	231 BENOIST FARMS RD	AST	Higher	284, 0.054, NW
B11	WAWA# 5348	8115 SOUTHERN BLVD	UST, Financial Assurance	Higher	503, 0.095, SW
C12	LKQ PICK YOUR PART	451 BENOIST FARMS RD	HAZ WASTE	Higher	616, 0.117, NNW
C13	ABC U - PULL - IT IN	451 BENOIST FARMS RD	RCRA-VSQQ	Higher	616, 0.117, NNW
C14	ABC U PULL IT	451 BENOIST FARM ROA	DWM CONTAM, RESP PARTY, ERIC WASTE CLEANUP	Higher	616, 0.117, NNW
C15	DIXIE ASPHALT	500 BENOIST FARMS RD	DWM CONTAM, ERIC WASTE CLEANUP	Higher	622, 0.118, NNW
B16	PALM BEACH OUTER MAR		FUDS	Higher	627, 0.119, SW
D17	THE WEITZ CO	201 BENOIST FARMS RD	RCRA-VSQQ	Higher	639, 0.121, WNW
D18	THE WEITZ COMPANY	201 BENOIST FARMS RD	RCRA-VSQQ	Higher	639, 0.121, WNW
E19	AFFORDABLE FORKLIFTS	7733 HOOPER RD	RCRA-VSQQ, AST, FINDS, ECHO	Higher	772, 0.146, ESE
20	FORMER REDWING CARRI	BROWARD COUNTY AVIAT	ENG CONTROLS, INST CONTROL	Higher	816, 0.155, South
F21	HENEGANS NURSERY	7760 SOUTHERN BLVD	UST FINDER, UST FINDER RELEASE	Higher	863, 0.163, SE
F22	HENEGANS NURSERY	7760 SOUTHERN BLVD	LUST, UST, AST, DWM CONTAM	Higher	863, 0.163, SE
F23	RETAIL AUTO AUCTION	7659 SOUTHERN BLVD	DWM CONTAM, RESP PARTY, ERIC WASTE CLEANUP	Higher	883, 0.167, SE
E24	PRESTIGE AUTO BODY R	7670 HOOPER ROAD 16	HAZ WASTE	Higher	1011, 0.191, ESE
E25	PALM BEACH RADIATOR	7670 HOOPER ROAD BAY	RCRA NonGen / NLR, FINDS, ECHO	Higher	1011, 0.191, ESE
E26	JB AND CA ENTERPRISE	7670 HOOPER RD, UNIT	SWF/LF	Higher	1011, 0.191, ESE
E27	PALM BEACH AUTO CENT	7673 HOOPER RD BAY 8	HAZ WASTE	Higher	1069, 0.202, East
E28	RICE AUTO SERVICE	7673 HOOPER ROAD BAY	HAZ WASTE	Higher	1069, 0.202, East
E29	IMAGE CYCLELLC	7673 HOOPER RD 6	HAZ WASTE	Higher	1069, 0.202, East
E30	INTERNATIONAL PAINT	7673 HOOPER ROAD	E MANIFEST	Higher	1069, 0.202, East
E31	YELLOW AUTO CENTER	7673 HOOPER RD B-6	HAZ WASTE	Higher	1069, 0.202, East
E32	EXPRESS AUTO WORKS O	7673 HOOPER RD BAY 1	HAZ WASTE	Higher	1069, 0.202, East
E33	DOUG'S TRANSMISSION	7673 HOOPER RD B-5	HAZ WASTE	Higher	1069, 0.202, East
E34	CULTURED MARBLE CREA	7673 HOOPER RD	RCRA NonGen / NLR, FINDS, ECHO	Higher	1069, 0.202, East
E35	ATLANTIC AUTO CENTER	7673 HOOPER RD #7	HAZ WASTE	Higher	1069, 0.202, East
E36	CUSTOM TRUCKS & CARS	7673 HOOPER RD 10	HAZ WASTE	Higher	1069, 0.202, East
E37	PV SMART ALIGNMENT	7673 HOOPER RD BAY 9	HAZ WASTE	Higher	1069, 0.202, East
G38	BILLS CUSTOM BIKES	7650 HOOPER RD 15	HAZ WASTE	Higher	1095, 0.207, ESE
G39	FINAL FINISH PLATING	7650 HOOPER RD	SEMS-ARCHIVE, RCRA NonGen / NLR	Higher	1095, 0.207, ESE

MAPPED SITES SUMMARY

Target Property Address:
100 N BENOIST FARMS RD
WEST PALM BEACH, FL 33411

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
G40	FINAL FINISH PLATING	7650 HOOPER RD.	FI Sites	Higher	1095, 0.207, ESE
G41	TRIPLE A AUTO BODY	7650 HOOPER ROAD 11	HAZ WASTE	Higher	1095, 0.207, ESE
42	PALM BEACH MULCH LLC	69 ARMADILLO WAY	SWF/LF	Higher	1113, 0.211, SSE
G43	ALMOVIN AUTO CARE, I	7640 HOOPER RD STE 2	SWF/LF	Higher	1136, 0.215, ESE
G44	DIESEL DOCTORS OF TH	7640 HOOPER RD	RCRA NonGen / NLR	Higher	1136, 0.215, ESE
H45	U-PULL AND PAY	551 BENOIST FARMS RD	RCRA-VSQQ, FINDS, ECHO, E MANIFEST	Higher	1171, 0.222, NW
H46	U PULL AND PAY LLC	551 BENOIST FARMS RD	AST	Higher	1171, 0.222, NW
H47	U PULL AND PAY LLC	551 BENOIST FARMS RD	Financial Assurance, HAZ WASTE	Higher	1171, 0.222, NW
G48	EDUARDOS AUTO REPAIR	7673 HOOPER RD BAY #	RCRA-VSQQ, FINDS, ECHO	Higher	1178, 0.223, ESE
G49	BRIANS CUSTOM BODY &	7641 HOOPER ROAD B-4	HAZ WASTE	Higher	1234, 0.234, East
G50	MIGUEL'S AUTO SERVIC	7641 HOOPER RD 10	HAZ WASTE	Higher	1234, 0.234, East
G51	PALM BEACH MEDICAL T	7641 HOOPER RD #9	HAZ WASTE	Higher	1234, 0.234, East
G52	L.D.S. TRANSPORTATIO	7641 HOOPER RD B-8	HAZ WASTE	Higher	1234, 0.234, East
G53	YONARA USED TIRE & A	7641 HOOPER ROAD	HAZ WASTE	Higher	1234, 0.234, East
G54	RAMON GOMEZ AUTO REP	7641 HOOPER RD #13B	HAZ WASTE	Higher	1234, 0.234, East
G55	PALM BEACH AUTO CENT	7641 HOOPER RD LOCAL	RCRA NonGen / NLR, FINDS, ECHO	Higher	1254, 0.237, ESE
G56	OQUENDO AUTOMOTIVE	7641 HOOPER RD BAY #	RCRA NonGen / NLR, FINDS, ECHO	Higher	1254, 0.237, ESE
I57	D S EAKINS CONSTRUCT	550 N BENOIST FARMS	UST FINDER, UST FINDER RELEASE	Higher	1260, 0.239, NNE
I58	D S EAKINS CONSTRUCT	550 N BENOIST FARMS	LAST, LUST, UST, AST, CLEANUP SITES, Financial...	Higher	1260, 0.239, NNE
I59	D S EAKINS CONSTRUCT	550 N BENOIST FARMS	DWM CONTAM	Higher	1260, 0.239, NNE
60	S & S TRASH HAULING	8233 GATOR LANE SUIT	SWF/LF	Higher	1330, 0.252, West
61	SWA CROSS STATE LAND		SWF/LF	Higher	1345, 0.255, North
G62	HOOPER ROAD SITE		SWF/LF	Higher	1383, 0.262, ESE
J63	CROSS STATE LANDFILL	PIKE RD	SEMS-ARCHIVE	Higher	1444, 0.273, NE
J64	CROSS STATE LANDFILL	PIKE ROAD	SWF/LF	Higher	1519, 0.288, NE
K65	A-1 ROOF TRUSSES INC	199 PIKE RD	UST FINDER, UST FINDER RELEASE	Higher	1534, 0.291, ESE
K66	A-1 ROOF TRUSSES INC	199 PIKE RD	LUST, UST, DWM CONTAM	Higher	1534, 0.291, ESE
67	ALMAZAN BROS TRUCKIN	8357 KELLY DR	LUST, UST, AST, DWM CONTAM, Financial Assurance	Higher	1661, 0.315, West
J68	CROSS STATE LANDFILL	PIKE RD.	FI Sites	Higher	1672, 0.317, NE
L69	WASTE MGMT SITE	205 PIKE RD	LUST, UST, ASBESTOS, DWM CONTAM, Financial...	Higher	1834, 0.347, East
L70	WASTE MGMT OF PALM B	205 PIKE RD	SEMS-ARCHIVE, RCRA NonGen / NLR	Higher	1834, 0.347, East
L71	WASTE MGMT SITE	205 PIKE RD	UST FINDER, UST FINDER RELEASE	Higher	1834, 0.347, East
L72	PALM BEACH SANITATIO	205 PIKE RD.	FI Sites	Higher	1834, 0.347, East
M73	PALM BEACH COUNTY FI	405 PIKE RD	PFAS, AQUEOUS FOAM, CLEANUP SITES, DWM CONTAM,...	Higher	1925, 0.365, ENE
M74	THIS SITE AND ADDRES	491 PIKE RD	UST FINDER, UST FINDER RELEASE	Higher	2031, 0.385, ENE
M75	THIS SITE AND ADDRES	491 PIKE RD	LUST, UST, AST, DWM CONTAM	Higher	2031, 0.385, ENE
N76	DIXIE LANDFILL		SWF/LF	Higher	2060, 0.390, ENE
N77	DIXIE LANDFILL(COUNT		SWF/LF	Higher	2060, 0.390, ENE
O78	DUKE REALTY DOD6	759-849 BENOIST FARM	RESP PARTY, ERIC WASTE CLEANUP	Higher	2156, 0.408, NNW

MAPPED SITES SUMMARY

Target Property Address:
 100 N BENOIST FARMS RD
 WEST PALM BEACH, FL 33411

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
O79	DUKE REALTY DOD6	759-849 BENOIST FARM	DWM CONTAM, RESP PARTY, ERIC WASTE CLEANUP	Higher	2156, 0.408, NNW
P80	GREEN MEADOWS FARM	8569 SOUTHERN BLVD	UST FINDER, UST FINDER RELEASE	Higher	2322, 0.440, WSW
P81	GREEN MEADOWS FARM	8569 SOUTHERN BLVD	LUST, UST, DWM CONTAM	Higher	2322, 0.440, WSW
O82	MARKS LANDSCAPING &		SWF/LF	Higher	2328, 0.441, NNW
Q83	MARKS LANDSCAPE & PA	829 BENOIST FARMS RD	LUST, UST, AST, DWM CONTAM	Higher	2454, 0.465, North
Q84	ALLIED TIRE RECYCLIN	829 BENOIST FARMS RD	SWF/LF	Higher	2454, 0.465, North
Q85	MARKS LANDSCAPE & PA	829 BENOIST FARMS RD	UST FINDER, UST FINDER RELEASE	Higher	2454, 0.465, North
86	STENGER PROPERTY	832 PIKE RD	SHWS, INST CONTROL, CLEANUP SITES, RESP PARTY,...	Higher	3262, 0.618, NE

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Lists of Federal CERCLA sites with NFRAP

SEMS-ARCHIVE: A review of the SEMS-ARCHIVE list, as provided by EDR, and dated 12/19/2024 has revealed that there are 3 SEMS-ARCHIVE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>FINAL FINISH PLATING</i>	<i>7650 HOOPER RD</i>	<i>ESE 1/8 - 1/4 (0.207 mi.)</i>	<i>G39</i>	<i>16</i>
CROSS STATE LANDFILL	PIKE RD	NE 1/4 - 1/2 (0.273 mi.)	J63	22
<i>WASTE MGMT OF PALM B</i>	<i>205 PIKE RD</i>	<i>E 1/4 - 1/2 (0.347 mi.)</i>	<i>L70</i>	<i>25</i>
Site ID: 0400466				
EPA Id: FLD000622563				

Lists of Federal RCRA generators

RCRA-SQG: A review of the RCRA-SQG list, as provided by EDR, and dated 09/16/2024 has revealed that there is 1 RCRA-SQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CGA STONECASTING LLC	101 N BENOIST FARMS	WSW 0 - 1/8 (0.035 mi.)	A8	9
EPA ID:: FLR000211987				

EXECUTIVE SUMMARY

RCRA-VSQG: A review of the RCRA-VSQG list, as provided by EDR, and dated 09/16/2024 has revealed that there are 7 RCRA-VSQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
K & T STONEWORKS EPA ID:: FLT070078340	101 BENOIST FARMS RD	WSW 0 - 1/8 (0.035 mi.)	A7	9
ABC U - PULL - IT IN EPA ID:: FLR000109801	451 BENOIST FARMS RD	NNW 0 - 1/8 (0.117 mi.)	C13	10
THE WEITZ CO EPA ID:: FLTMP9203539	201 BENOIST FARMS RD	WNW 0 - 1/8 (0.121 mi.)	D17	11
THE WEITZ COMPANY EPA ID:: FLT020071155	201 BENOIST FARMS RD	WNW 0 - 1/8 (0.121 mi.)	D18	11
AFFORDABLE FORKLIFTS EPA ID:: FLD981925043	7733 HOOPER RD	ESE 1/8 - 1/4 (0.146 mi.)	E19	11
U-PULL AND PAY EPA ID:: FLR000062695	551 BENOIST FARMS RD	NW 1/8 - 1/4 (0.222 mi.)	H45	17
EDUARDOS AUTO REPAIR EPA ID:: FLR000056887	7673 HOOPER RD BAY #	ESE 1/8 - 1/4 (0.223 mi.)	G48	18

Lists of state- and tribal hazardous waste facilities

SHWS: A review of the SHWS list, as provided by EDR, and dated 10/26/2024 has revealed that there is 1 SHWS site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
STENGER PROPERTY Facility Status: Delisted Facility ID: 176 EPA Facility-Site Id: ERIC_3946	832 PIKE RD	NE 1/2 - 1 (0.618 mi.)	86	29

Lists of state and tribal landfills and solid waste disposal facilities

SWF/LF: A review of the SWF/LF list, as provided by EDR, has revealed that there are 11 SWF/LF sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JB AND CA ENTERPRISE Database: SWF/LF, Date of Government Version: 10/04/2024 Facility-Site Id: 98749 Class Status: INACTIVE (I)	7670 HOOPER RD, UNIT	ESE 1/8 - 1/4 (0.191 mi.)	E26	14
PALM BEACH MULCH LLC Database: SWF/LF, Date of Government Version: 10/04/2024 Facility-Site Id: 102382	69 ARMADILLO WAY	SSE 1/8 - 1/4 (0.211 mi.)	42	17

EXECUTIVE SUMMARY

Class Status: ACTIVITY NOT PERMITTED/REGISTERED (N)				
ALMOVIN AUTO CARE, I	7640 HOOPER RD STE 2	ESE 1/8 - 1/4 (0.215 mi.)	G43	17
Database: SWF/LF, Date of Government Version: 10/04/2024				
Facility-Site Id: 98887				
Class Status: INACTIVE (I)				
S & S TRASH HAULING	8233 GATOR LANE SUIT	W 1/4 - 1/2 (0.252 mi.)	60	21
Database: SWF/LF, Date of Government Version: 10/04/2024				
Facility-Site Id: 95925				
Class Status: INACTIVE (I)				
SWA CROSS STATE LAND		N 1/4 - 1/2 (0.255 mi.)	61	22
Database: LF PALM BEACH, Date of Government Version: 09/01/2011				
Closed: 7/1/76				
Site Number: 19				
HOOPER ROAD SITE		ESE 1/4 - 1/2 (0.262 mi.)	G62	22
Database: LF PALM BEACH, Date of Government Version: 09/01/2011				
Closed: 1991				
Site Number: 88				
CROSS STATE LANDFILL	PIKE ROAD	NE 1/4 - 1/2 (0.288 mi.)	J64	22
Database: SWF/LF, Date of Government Version: 10/04/2024				
Facility-Site Id: 66213				
Class Status: CLOSED, NO GW MONITORING (J)				
Class Status: NFA, NO FURTHER ACTION (F)				
Class Status: PRE-AUTHORIZED (B)				
DIXIE LANDFILL		ENE 1/4 - 1/2 (0.390 mi.)	N76	26
Database: LF PALM BEACH, Date of Government Version: 09/01/2011				
Closed: 1975				
Site Number: 71				
DIXIE LANDFILL(COUNT		ENE 1/4 - 1/2 (0.390 mi.)	N77	27
Database: SWF/LF, Date of Government Version: 10/04/2024				
Facility-Site Id: 94306				
Class Status: CLOSED, NO GW MONITORING (J)				
MARKS LANDSCAPING &		NNW 1/4 - 1/2 (0.441 mi.)	O82	28
Database: LF PALM BEACH, Date of Government Version: 09/01/2011				
Site Number: 113				
ALLIED TIRE RECYCLIN	829 BENOIST FARMS RD	N 1/4 - 1/2 (0.465 mi.)	Q84	29
Database: SWF/LF, Date of Government Version: 10/04/2024				
Facility-Site Id: 101321				
Class Status: ACTIVE (A)				
Class Status: INACTIVE (I)				

Lists of state and tribal leaking storage tanks

LAST: A review of the LAST list, as provided by EDR, and dated 10/21/2024 has revealed that there is 1 LAST site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
D S EAKINS CONSTRUCT Facility-Site Id: 8841626	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I58	20

EXECUTIVE SUMMARY

LUST: A review of the LUST list, as provided by EDR, and dated 10/21/2024 has revealed that there are 8 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HENEGANS NURSERY Discharge Cleanup Status: NFA - NFA COMPLETE Facility Status: OPEN Facility-Site Id: 8838327	7760 SOUTHERN BLVD	SE 1/8 - 1/4 (0.163 mi.)	F22	12
D S EAKINS CONSTRUCT Discharge Cleanup Status: RA - RA ONGOING Facility Status: OPEN Facility-Site Id: 8841626	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I58	20
A-1 ROOF TRUSSES INC Discharge Cleanup Status: NFA - NFA COMPLETE Facility Status: CLOSED Facility-Site Id: 8838159	199 PIKE RD	ESE 1/4 - 1/2 (0.291 mi.)	K66	23
ALMAZAN BROS TRUCKIN Discharge Cleanup Status: SRCR - SRCR COMPLETE Facility Status: CLOSED Facility-Site Id: 8736886	8357 KELLY DR	W 1/4 - 1/2 (0.315 mi.)	67	23
WASTE MGMT SITE Discharge Cleanup Status: NFA - NFA COMPLETE Discharge Cleanup Status: SRCR - SRCR COMPLETE Facility Status: CLOSED Facility-Site Id: 8514836	205 PIKE RD	E 1/4 - 1/2 (0.347 mi.)	L69	24
THIS SITE AND ADDRES Discharge Cleanup Status: NREQ - CLEANUP NOT REQUIRED Discharge Cleanup Status: SRCR - SRCR COMPLETE Facility Status: CLOSED Facility-Site Id: 8838181	491 PIKE RD	ENE 1/4 - 1/2 (0.385 mi.)	M75	26
GREEN MEADOWS FARM Discharge Cleanup Status: SRCR - SRCR COMPLETE Facility Status: CLOSED Facility-Site Id: 9400092	8569 SOUTHERN BLVD	WSW 1/4 - 1/2 (0.440 mi.)	P81	27
MARKS LANDSCAPE & PA Discharge Cleanup Status: NFA - NFA COMPLETE Facility Status: OPEN Facility-Site Id: 8837567	829 BENOIST FARMS RD	N 1/4 - 1/2 (0.465 mi.)	Q83	28

Lists of state and tribal registered storage tanks

UST: A review of the UST list, as provided by EDR, has revealed that there are 4 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RON KENDALL MASONARY Database: UST, Date of Government Version: 11/11/2024 Tank Status: B-Removed from Site	101 BENOIST FARMS RD	WSW 0 - 1/8 (0.035 mi.)	A6	9

EXECUTIVE SUMMARY

Facility-Site Id: 8630652
Facility Status: CLOSED

<p>WAWA# 5348 Database: UST, Date of Government Version: 11/11/2024 Tank Status: U-In Service Facility-Site Id: 9818886 Facility Status: OPEN</p>	<p>8115 SOUTHERN BLVD</p>	<p>SW 0 - 1/8 (0.095 mi.)</p>	<p>B11</p>	<p>10</p>
<p>HENEGANS NURSERY Database: UST, Date of Government Version: 11/11/2024 Tank Status: B-Removed from Site Facility-Site Id: 8838327 Facility Status: OPEN</p>	<p>7760 SOUTHERN BLVD</p>	<p>SE 1/8 - 1/4 (0.163 mi.)</p>	<p>F22</p>	<p>12</p>
<p>D S EAKINS CONSTRUCT Database: UST, Date of Government Version: 11/11/2024 Tank Status: B-Removed from Site Facility-Site Id: 8841626 Facility Status: OPEN</p>	<p>550 N BENOIST FARMS</p>	<p>NNE 1/8 - 1/4 (0.239 mi.)</p>	<p>I58</p>	<p>20</p>

AST: A review of the AST list, as provided by EDR, has revealed that there are 6 AST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<p>COMMUNITY ASPHALT CO Database: AST, Date of Government Version: 11/11/2024 Facility-Site Id: 9101387 Facility Status: OPEN Facility Status: OPEN</p>	<p>7795 HOOPER RD</p>	<p>ESE 0 - 1/8 (0.031 mi.)</p>	<p>2</p>	<p>8</p>
<p>PALM BEACH CNTY-FIRE Database: AST, Date of Government Version: 11/11/2024 Facility-Site Id: 9100983 Facility Status: OPEN Facility Status: OPEN</p>	<p>231 BENOIST FARMS RD</p>	<p>NW 0 - 1/8 (0.054 mi.)</p>	<p>10</p>	<p>10</p>
<p>AFFORDABLE FORKLIFTS Database: AST, Date of Government Version: 11/11/2024 Facility-Site Id: 8837881 Facility Status: CLOSED Facility Status: CLOSED</p>	<p>7733 HOOPER RD</p>	<p>ESE 1/8 - 1/4 (0.146 mi.)</p>	<p>E19</p>	<p>11</p>
<p>HENEGANS NURSERY Database: AST, Date of Government Version: 11/11/2024 Facility-Site Id: 8838327 Facility Status: OPEN Facility Status: OPEN</p>	<p>7760 SOUTHERN BLVD</p>	<p>SE 1/8 - 1/4 (0.163 mi.)</p>	<p>F22</p>	<p>12</p>
<p>U PULL AND PAY LLC Database: AST, Date of Government Version: 11/11/2024 Facility-Site Id: 9807974 Facility Status: OPEN Facility Status: OPEN</p>	<p>551 BENOIST FARMS RD</p>	<p>NW 1/8 - 1/4 (0.222 mi.)</p>	<p>H46</p>	<p>18</p>
<p>D S EAKINS CONSTRUCT Database: AST, Date of Government Version: 11/11/2024</p>	<p>550 N BENOIST FARMS</p>	<p>NNE 1/8 - 1/4 (0.239 mi.)</p>	<p>I58</p>	<p>20</p>

EXECUTIVE SUMMARY

Facility-Site Id: 8841626
Facility Status: OPEN
Facility Status: OPEN

State and tribal institutional control / engineering control registries

ENG CONTROLS: A review of the ENG CONTROLS list, as provided by EDR, and dated 09/12/2024 has revealed that there is 1 ENG CONTROLS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORMER REDWING CARRI Facility-Site Id: 8502536	BROWARD COUNTY AVIAT	S 1/8 - 1/4 (0.155 mi.)	20	12

INST CONTROL: A review of the INST CONTROL list, as provided by EDR, and dated 09/12/2024 has revealed that there is 1 INST CONTROL site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORMER REDWING CARRI Facility-Site Id: 8502536	BROWARD COUNTY AVIAT	S 1/8 - 1/4 (0.155 mi.)	20	12

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Hazardous waste / Contaminated Sites

FI Sites: A review of the FI Sites list, as provided by EDR, and dated 12/31/1989 has revealed that there are 3 FI Sites sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FINAL FINISH PLATING EPA ID: FLD980709422 Facility-Site Id: 000231	7650 HOOPER RD.	ESE 1/8 - 1/4 (0.207 mi.)	G40	16
CROSS STATE LANDFILL PALM BEACH SANITATIO EPA ID: FLD000622563 Facility-Site Id: 000259	PIKE RD. 205 PIKE RD.	NE 1/4 - 1/2 (0.317 mi.) E 1/4 - 1/2 (0.347 mi.)	J68 L72	24 25

EXECUTIVE SUMMARY

Other Ascertainable Records

RCRA NonGen / NLR: A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 09/16/2024 has revealed that there are 6 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PALM BEACH RADIATOR EPA ID:: FLD980804025	7670 HOOPER ROAD BAY	ESE 1/8 - 1/4 (0.191 mi.)	E25	13
CULTURED MARBLE CREA EPA ID:: FLD984181602	7673 HOOPER RD	E 1/8 - 1/4 (0.202 mi.)	E34	15
FINAL FINISH PLATING EPA ID:: FLD980709422	7650 HOOPER RD	ESE 1/8 - 1/4 (0.207 mi.)	G39	16
DIESEL DOCTORS OF TH EPA ID:: FLR000172791	7640 HOOPER RD	ESE 1/8 - 1/4 (0.215 mi.)	G44	17
PALM BEACH AUTO CENT EPA ID:: FLD984227298	7641 HOOPER RD LOCAL	ESE 1/8 - 1/4 (0.237 mi.)	G55	20
OQUENDO AUTOMOTIVE EPA ID:: FLD984229047	7641 HOOPER RD BAY #	ESE 1/8 - 1/4 (0.237 mi.)	G56	20

FUDS: A review of the FUDS list, as provided by EDR, and dated 10/01/2024 has revealed that there is 1 FUDS site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PALM BEACH OUTER MAR		SW 0 - 1/8 (0.119 mi.)	B16	11

UST FINDER: A review of the UST FINDER list, as provided by EDR, and dated 06/08/2023 has revealed that there are 2 UST FINDER sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HENEGANS NURSERY	7760 SOUTHERN BLVD	SE 1/8 - 1/4 (0.163 mi.)	F21	12
D S EAKINS CONSTRUCT	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I57	20

UST FINDER RELEASE: A review of the UST FINDER RELEASE list, as provided by EDR, and dated 06/08/2023 has revealed that there are 7 UST FINDER RELEASE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HENEGANS NURSERY	7760 SOUTHERN BLVD	SE 1/8 - 1/4 (0.163 mi.)	F21	12
D S EAKINS CONSTRUCT	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I57	20
A-1 ROOF TRUSSES INC	199 PIKE RD	ESE 1/4 - 1/2 (0.291 mi.)	K65	23
WASTE MGMT SITE	205 PIKE RD	E 1/4 - 1/2 (0.347 mi.)	L71	25
THIS SITE AND ADDRES	491 PIKE RD	ENE 1/4 - 1/2 (0.385 mi.)	M74	26
GREEN MEADOWS FARM	8569 SOUTHERN BLVD	WSW 1/4 - 1/2 (0.440 mi.)	P80	27
MARKS LANDSCAPE & PA	829 BENOIST FARMS RD	N 1/4 - 1/2 (0.465 mi.)	Q85	29

EXECUTIVE SUMMARY

E MANIFEST: A review of the E MANIFEST list, as provided by EDR, and dated 09/16/2024 has revealed that there are 2 E MANIFEST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
INTERNATIONAL PAINT	7673 HOOPER ROAD	E 1/8 - 1/4 (0.202 mi.)	E30	14
U-PULL AND PAY	551 BENOIST FARMS RD	NW 1/8 - 1/4 (0.222 mi.)	H45	17

DWM CONTAM: A review of the DWM CONTAM list, as provided by EDR, and dated 07/14/2023 has revealed that there are 14 DWM CONTAM sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FREUND IRWIN TRUST P Program Site Id: ERIC_10846	101 BENOIST FARMS RD	WSW 0 - 1/8 (0.035 mi.)	A9	9
ABC U PULL IT Program Site Id: ERIC_10654	451 BENOIST FARM ROA	NNW 0 - 1/8 (0.117 mi.)	C14	10
DIXIE ASPHALT Program Site Id: ERIC_10610	500 BENOIST FARMS RD	NNW 0 - 1/8 (0.118 mi.)	C15	11
HENEGANS NURSERY Program Site Id: 8838327	7760 SOUTHERN BLVD	SE 1/8 - 1/4 (0.163 mi.)	F22	12
RETAIL AUTO AUCTION Program Site Id: ERIC_10834	7659 SOUTHERN BLVD	SE 1/8 - 1/4 (0.167 mi.)	F23	13
D S EAKINS CONSTRUCT Program Site Id: 8841626	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I59	21
A-1 ROOF TRUSSES INC Program Site Id: 8838159	199 PIKE RD	ESE 1/4 - 1/2 (0.291 mi.)	K66	23
ALMAZAN BROS TRUCKIN Program Site Id: 8736886	8357 KELLY DR	W 1/4 - 1/2 (0.315 mi.)	67	23
WASTE MGMT SITE Program Site Id: ERIC_8750 Program Site Id: 8514836	205 PIKE RD	E 1/4 - 1/2 (0.347 mi.)	L69	24
PALM BEACH COUNTY FI Program Site Id: ERIC_7412	405 PIKE RD	ENE 1/4 - 1/2 (0.365 mi.)	M73	25
THIS SITE AND ADDRES Program Site Id: 8838181	491 PIKE RD	ENE 1/4 - 1/2 (0.385 mi.)	M75	26
DUKE REALTY DOD6 Program Site Id: ERIC_18127 Program Site Id: ERIC_18128	759-849 BENOIST FARM	NNW 1/4 - 1/2 (0.408 mi.)	O79	27
GREEN MEADOWS FARM Program Site Id: 9400092	8569 SOUTHERN BLVD	WSW 1/4 - 1/2 (0.440 mi.)	P81	27
MARKS LANDSCAPE & PA Program Site Id: 8837567	829 BENOIST FARMS RD	N 1/4 - 1/2 (0.465 mi.)	Q83	28

EXECUTIVE SUMMARY

HAZ WASTE: A review of the HAZ WASTE list, as provided by EDR, and dated 11/11/2024 has revealed that there are 22 HAZ WASTE sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BE BACK MOTORS	200 BENOIST FARMS RD	SW 0 - 1/8 (0.020 mi.)	A1	8
CGA STONE CASTING LL	101 BENOIST FARMS RD	WSW 0 - 1/8 (0.035 mi.)	A3	8
LKQ PICK YOUR PART	451 BENOIST FARMS RD	NNW 0 - 1/8 (0.117 mi.)	C12	10
PRESTIGE AUTO BODY R	7670 HOOPER ROAD 16	ESE 1/8 - 1/4 (0.191 mi.)	E24	13
PALM BEACH AUTO CENT	7673 HOOPER RD BAY 8	E 1/8 - 1/4 (0.202 mi.)	E27	14
RICE AUTO SERVICE	7673 HOOPER ROAD BAY	E 1/8 - 1/4 (0.202 mi.)	E28	14
IMAGE CYCLELLC	7673 HOOPER RD 6	E 1/8 - 1/4 (0.202 mi.)	E29	14
YELLOW AUTO CENTER	7673 HOOPER RD B-6	E 1/8 - 1/4 (0.202 mi.)	E31	15
EXPRESS AUTO WORKS O	7673 HOOPER RD BAY 1	E 1/8 - 1/4 (0.202 mi.)	E32	15
DOUG'S TRANSMISSION	7673 HOOPER RD B-5	E 1/8 - 1/4 (0.202 mi.)	E33	15
ATLANTIC AUTO CENTER	7673 HOOPER RD #7	E 1/8 - 1/4 (0.202 mi.)	E35	15
CUSTOM TRUCKS & CARS	7673 HOOPER RD 10	E 1/8 - 1/4 (0.202 mi.)	E36	16
PV SMART ALIGNMENT	7673 HOOPER RD BAY 9	E 1/8 - 1/4 (0.202 mi.)	E37	16
BILLS CUSTOM BIKES	7650 HOOPER RD 15	ESE 1/8 - 1/4 (0.207 mi.)	G38	16
TRIPLE A AUTO BODY	7650 HOOPER ROAD 11	ESE 1/8 - 1/4 (0.207 mi.)	G41	17
U PULL AND PAY LLC	551 BENOIST FARMS RD	NW 1/8 - 1/4 (0.222 mi.)	H47	18
BRIANS CUSTOM BODY &	7641 HOOPER ROAD B-4	E 1/8 - 1/4 (0.234 mi.)	G49	19
MIGUEL'S AUTO SERVIC	7641 HOOPER RD 10	E 1/8 - 1/4 (0.234 mi.)	G50	19
PALM BEACH MEDICAL T	7641 HOOPER RD #9	E 1/8 - 1/4 (0.234 mi.)	G51	19
L.D.S. TRANSPORTATIO	7641 HOOPER RD B-8	E 1/8 - 1/4 (0.234 mi.)	G52	19
YONARA USED TIRE & A	7641 HOOPER ROAD	E 1/8 - 1/4 (0.234 mi.)	G53	19
RAMON GOMEZ AUTO REP	7641 HOOPER RD #13B	E 1/8 - 1/4 (0.234 mi.)	G54	19

HW GEN: A review of the HW GEN list, as provided by EDR, and dated 09/16/2024 has revealed that there is 1 HW GEN site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CGA STONECASTING LLC	101 N BENOIST FARMS	WSW 0 - 1/8 (0.035 mi.)	A5	8

RESP PARTY: A review of the RESP PARTY list, as provided by EDR, and dated 11/01/2024 has revealed that there are 8 RESP PARTY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FREUND IRWIN TRUST P Site Status: CLOSED	101 BENOIST FARMS RD	WSW 0 - 1/8 (0.035 mi.)	A9	9
ABC U PULL IT Site Status: CLOSED	451 BENOIST FARM ROA	NNW 0 - 1/8 (0.117 mi.)	C14	10
RETAIL AUTO AUCTION Site Status: CLOSED	7659 SOUTHERN BLVD	SE 1/8 - 1/4 (0.167 mi.)	F23	13
D S EAKINS CONSTRUCT Site Status: CLOSED	550 N BENOIST FARMS	NNE 1/8 - 1/4 (0.239 mi.)	I58	20
WASTE MGMT SITE Site Status: CLOSED	205 PIKE RD	E 1/4 - 1/2 (0.347 mi.)	L69	24
PALM BEACH COUNTY FI	405 PIKE RD	ENE 1/4 - 1/2 (0.365 mi.)	M73	25

EXECUTIVE SUMMARY

Site Status: OPEN

DUKE REALTY DOD6

Site Status: OPEN

759-849 BENOIST FARM

NNW 1/4 - 1/2 (0.408 mi.) O78

27

DUKE REALTY DOD6

Site Status: OPEN

759-849 BENOIST FARM

NNW 1/4 - 1/2 (0.408 mi.) O79

27

SITE INV SITES: A review of the SITE INV SITES list, as provided by EDR, and dated 08/28/2024 has revealed that there is 1 SITE INV SITES site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PALM BEACH COUNTY FI	405 PIKE RD	ENE 1/4 - 1/2 (0.365 mi.)	M73	25

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR Hist Auto: A review of the EDR Hist Auto list, as provided by EDR, has revealed that there is 1 EDR Hist Auto site within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BURNS O D INC	101 BENOIST FARM ROA	WSW 0 - 1/8 (0.035 mi.)	A4	8

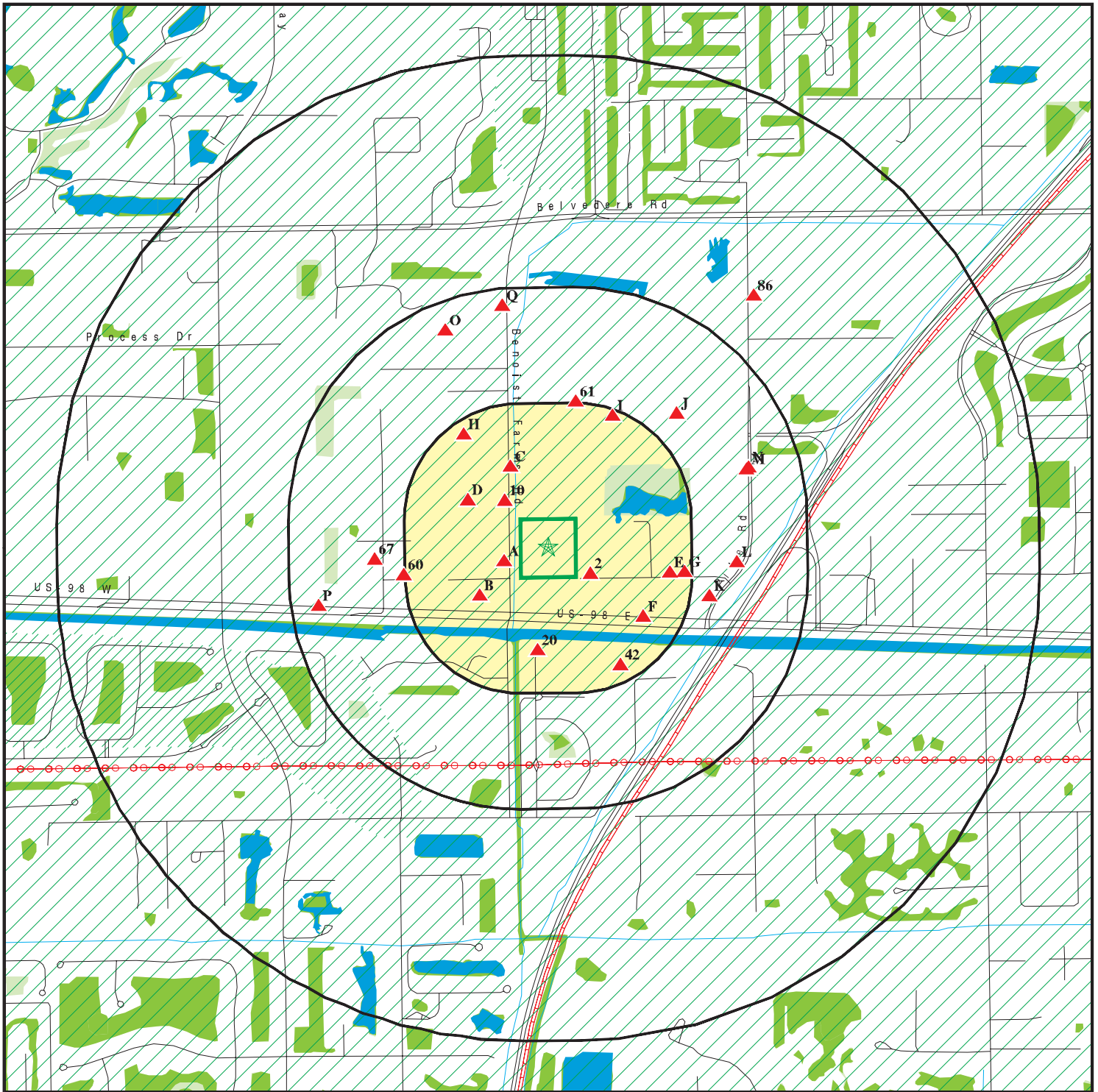
Count: 0 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
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NO SITES FOUND

OVERVIEW MAP - 7891256.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Pipelines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

FL Brownfield

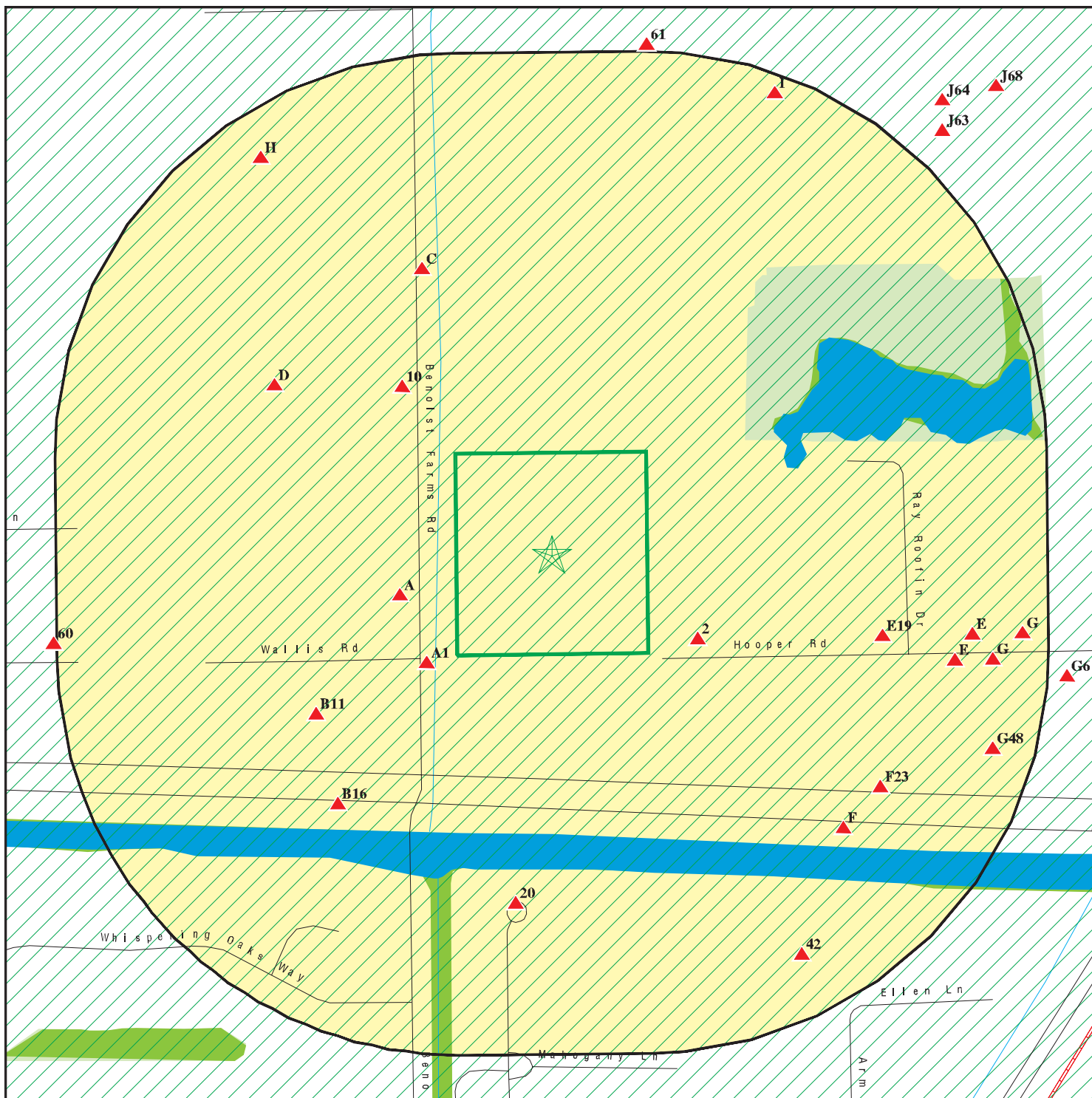









This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.








SITE NAME: Benoit Farms
 ADDRESS: 100 N Benoit Farms Rd
 West Palm Beach FL 33411
 LAT/LONG: 26.681709 / 80.172837

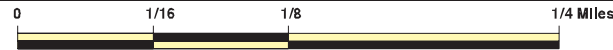
CLIENT: Wantman Group Inc
 CONTACT: Leroy Feeny
 INQUIRY #: 7891256.2s
 DATE: February 06, 2025 9:11 am

DETAIL MAP - 7891256.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Pipelines
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands
-  FL Brownfield



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Benoit Farms ADDRESS: 100 N Benoit Farms Rd West Palm Beach FL 33411 LAT/LONG: 26.681709 / 80.172837</p>	<p>CLIENT: Wantman Group Inc CONTACT: Leroy Feeny INQUIRY #: 7891256.2s DATE: February 06, 2025 9:13 am</p>
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MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Lists of Federal NPL (Superfund) sites</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Lists of Federal Delisted NPL sites</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Lists of Federal sites subject to CERCLA removals and CERCLA orders</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Lists of Federal CERCLA sites with NFRAP</i>								
SEMS-ARCHIVE	0.500		0	1	2	NR	NR	3
<i>Lists of Federal RCRA facilities undergoing Corrective Action</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Lists of Federal RCRA TSD facilities</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Lists of Federal RCRA generators</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		1	0	NR	NR	NR	1
RCRA-VSQG	0.250		4	3	NR	NR	NR	7
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	0.001		0	NR	NR	NR	NR	0
<i>Lists of state- and tribal hazardous waste facilities</i>								
SHWS	1.000		0	0	0	1	NR	1
<i>Lists of state and tribal landfills and solid waste disposal facilities</i>								
SWF/LF	0.500		0	3	8	NR	NR	11
<i>Lists of state and tribal leaking storage tanks</i>								
LAST	0.500		0	1	0	NR	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
LUST	0.500		0	2	6	NR	NR	8
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>Lists of state and tribal registered storage tanks</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0
FF TANKS	0.250		0	0	NR	NR	NR	0
UST	0.250		2	2	NR	NR	NR	4
AST	0.250		2	4	NR	NR	NR	6
INDIAN UST	0.250		0	0	NR	NR	NR	0
TANKS	0.250		0	0	NR	NR	NR	0
<i>State and tribal institutional control / engineering control registries</i>								
ENG CONTROLS	0.500		0	1	0	NR	NR	1
INST CONTROL	0.500		0	1	0	NR	NR	1
<i>Lists of state and tribal voluntary cleanup sites</i>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VCP	0.500		0	0	0	NR	NR	0
<i>Lists of state and tribal brownfield sites</i>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US HIST CDL	0.001		0	NR	NR	NR	NR	0
PRIORITYCLEANERS	0.500		0	0	0	NR	NR	0
FI Sites	1.000		0	1	2	0	NR	3
US CDL	0.001		0	NR	NR	NR	NR	0
<i>Local Land Records</i>								
LIENS 2	0.001		0	NR	NR	NR	NR	0
<i>Records of Emergency Release Reports</i>								
HMIRS	0.001		0	NR	NR	NR	NR	0
SPILLS	0.001		0	NR	NR	NR	NR	0
SPILLS 90	0.001		0	NR	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SPILLS 80	0.001		0	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	6	NR	NR	NR	6
FUDS	1.000		1	0	0	0	NR	1
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	0.001		0	NR	NR	NR	NR	0
EPA WATCH LIST	0.001		0	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	0.001		0	NR	NR	NR	NR	0
TRIS	0.001		0	NR	NR	NR	NR	0
SSTS	0.001		0	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	0.001		0	NR	NR	NR	NR	0
RAATS	0.001		0	NR	NR	NR	NR	0
PRP	0.001		0	NR	NR	NR	NR	0
PADS	0.001		0	NR	NR	NR	NR	0
ICIS	0.001		0	NR	NR	NR	NR	0
FTTS	0.001		0	NR	NR	NR	NR	0
MLTS	0.001		0	NR	NR	NR	NR	0
COAL ASH DOE	0.001		0	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	0.001		0	NR	NR	NR	NR	0
RADINFO	0.001		0	NR	NR	NR	NR	0
HIST FTTS	0.001		0	NR	NR	NR	NR	0
DOT OPS	0.001		0	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	0.001		0	NR	NR	NR	NR	0
US AIRS	0.001		0	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
MINES MRDS	0.250		0	0	NR	NR	NR	0
FINDS	0.001		0	NR	NR	NR	NR	0
ECHO	0.001		0	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
DOCKET HWC	0.001		0	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
PFAS NPL	0.250		0	0	NR	NR	NR	0
PFAS FEDERAL SITES	0.250		0	0	NR	NR	NR	0
PFAS TRIS	0.250		0	0	NR	NR	NR	0
PFAS TSCA	0.250		0	0	NR	NR	NR	0
PFAS RCRA MANIFEST	0.250		0	0	NR	NR	NR	0
PFAS ATSDR	0.250		0	0	NR	NR	NR	0
PFAS WQP	0.250		0	0	NR	NR	NR	0
PFAS PROJECT	0.250		0	0	NR	NR	NR	0
PFAS NPDES	0.250		0	0	NR	NR	NR	0
PFAS ECHO	0.250		0	0	NR	NR	NR	0

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
A1 SW < 1/8 0.020 mi. 103 ft. Relative: Higher	BE BACK MOTORS 200 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181080 N/A
2 ESE < 1/8 0.031 mi. 163 ft. Relative: Higher	COMMUNITY ASPHALT CORP 7795 HOOPER RD WEST PALM BEACH, FL 33411 Click here for full text details AST Facility Status OPEN Facility-Site Id 9101387 Facility Status OPEN	AST	1001138043 N/A
A3 WSW < 1/8 0.035 mi. 186 ft. Relative: Higher	CGA STONE CASTING LLC 101 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130094198 N/A
A4 WSW < 1/8 0.035 mi. 186 ft. Relative: Higher	BURNS O D INC 101 BENOIST FARM ROAD W PALM BEACH, FL 33411 Click here for full text details	EDR Hist Auto	1020419961 N/A
A5 WSW < 1/8 0.035 mi. 186 ft. Relative: Higher	CGA STONECASTING LLC 101 N BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details NPDES Facility ID FLR05H855 Status A	HW GEN NPDES	S125978759 N/A

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
A6 WSW < 1/8 0.035 mi. 186 ft.	RON KENDALL MASONARY 101 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	UST	U004311058 N/A
Relative: Higher	UST Facility Status CLOSED Facility-Site Id 8630652		
A7 WSW < 1/8 0.035 mi. 186 ft.	K & T STONEWORKS 101 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	RCRA-VSQG	1014467057 FLT070078340
Relative: Higher	RCRA-VSQG EPA Id FLT070078340		
A8 WSW < 1/8 0.035 mi. 186 ft.	CGA STONECASTING LLC 101 N BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	RCRA-SQG	1016955937 FLR000211987
Relative: Higher	RCRA-SQG EPA Id FLR000211987		
A9 WSW < 1/8 0.035 mi. 186 ft.	FREUND IRWIN TRUST PROPERTY 101 BENOIST FARMS RD ROYAL PALM BEACH, FL 33411 Click here for full text details	DWM CONTAM RESP PARTY NPDES ERIC WASTE CLEANUP	S122440088 N/A
Relative: Higher	DWM CONTAM Program Site Id ERIC_10846 RESP PARTY Site Status CLOSED NPDES Facility ID FLR10RZ75 Status A		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
10 NW < 1/8 0.054 mi. 284 ft.	PALM BEACH CNTY-FIRE RESCUE #34 231 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	AST	A100011734 N/A
Relative: Higher	AST Facility Status OPEN Facility-Site Id 9100983 Facility Status OPEN		
B11 SW < 1/8 0.095 mi. 503 ft.	WAWA# 5348 8115 SOUTHERN BLVD WEST PALM BEACH, FL 33411 Click here for full text details	UST Financial Assurance	U004360531 N/A
Relative: Higher	UST Facility Status OPEN Facility-Site Id 9818886 Financial Assurance Facility Status OPEN Facility ID 9818886		
C12 NNW < 1/8 0.117 mi. 616 ft.	LKQ PICK YOUR PART 451 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130064105 N/A
Relative: Higher			
C13 NNW < 1/8 0.117 mi. 616 ft.	ABC U - PULL - IT INC 451 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details	RCRA-VSQG	1007569427 FLR000109801
Relative: Higher	RCRA-VSQG EPA Id FLR000109801		
C14 NNW < 1/8 0.117 mi. 616 ft.	ABC U PULL IT 451 BENOIST FARM ROAD WEST PALM BEACH, FL 33407 Click here for full text details	DWM CONTAM RESP PARTY ERIC WASTE CLEANUP	S117359199 N/A
Relative: Higher	DWM CONTAM Program Site Id ERIC_10654		

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

ABC U PULL IT (Continued)

S117359199

RESP PARTY

Site Status CLOSED

C15
 NNW
 < 1/8
 0.118 mi.
 622 ft.

DIXIE ASPHALT
 500 BENOIST FARMS RD
 WEST PALM BEACH, FL 33401

DWM CONTAM
 ERIC WASTE CLEANUP

S127023764
 N/A

Relative:
 Higher

[Click here for full text details](#)

DWM CONTAM
 Program Site Id ERIC_10610

B16
 SW
 < 1/8
 0.119 mi.
 627 ft.

PALM BEACH OUTER MARKER AX
 WEST PALM BEACH, FL

FUDS 1024902543
 N/A

Relative:
 Higher

[Click here for full text details](#)

D17
 WNW
 < 1/8
 0.121 mi.
 639 ft.

THE WEITZ CO
 201 BENOIST FARMS RD
 WEST PALM BEACH, FL 33411

RCRA-VSQQ 1014470577
 FLTMP9203539

Relative:
 Higher

[Click here for full text details](#)

RCRA-VSQQ
 EPA Id FLTMP9203539

D18
 WNW
 < 1/8
 0.121 mi.
 639 ft.

THE WEITZ COMPANY
 201 BENOIST FARMS RD
 WEST PALM BEACH, FL 33411

RCRA-VSQQ 1014466452
 FLT020071155

Relative:
 Higher

[Click here for full text details](#)

RCRA-VSQQ
 EPA Id FLT020071155

E19
 ESE
 1/8-1/4
 0.146 mi.
 772 ft.

AFFORDABLE FORKLIFTS
 7733 HOOPER RD
 WEST PALM BEACH, FL 33411

RCRA-VSQQ 1000700039
 AST
 FINDS
 ECHO
 FLD981925043

Relative:
 Higher

[Click here for full text details](#)

RCRA-VSQQ
 EPA Id FLD981925043

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

AFFORDABLE FORKLIFTS (Continued)

1000700039

AST

Facility Status CLOSED
Facility-Site Id 8837881
Facility Status CLOSED

FINDS

Registry ID: 110002554272

ECHO

Registry ID 110002554272

20
South
1/8-1/4
0.155 mi.
816 ft.

FORMER REDWING CARRIER SITE
BROWARD COUNTY AVIATION DEPT. PROPERTY OWNER
FORT LAUDERDALE, FL 33315

ENG CONTROLS
INST CONTROL

S122338800
N/A

[Click here for full text details](#)

Relative:
Higher

ENG CONTROLS

Facility-Site Id 8502536

[Click here for Florida Oculus](#)

INST CONTROL

Facility-Site Id 8502536

[Click here for Florida Oculus](#)

F21
SE
1/8-1/4
0.163 mi.
863 ft.

HENEGANS NURSERY
7760 SOUTHERN BLVD
WEST PALM BEACH, FL 33411

UST FINDER
UST FINDER RELEASE

1028240440
N/A

[Click here for full text details](#)

Relative:
Higher

F22
SE
1/8-1/4
0.163 mi.
863 ft.

HENEGANS NURSERY
7760 SOUTHERN BLVD
WEST PALM BEACH, FL 33411

LUST
UST
AST
DWM CONTAM

U001546570
N/A

[Click here for full text details](#)

Relative:
Higher

LUST

Discharge Cleanup Status NFA - NFA COMPLETE
Facility-Site Id 8838327
Facility Status OPEN

[Click here for Florida Oculus](#)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HENEGANS NURSERY (Continued)

U001546570

UST

Facility Status OPEN
Facility-Site Id 8838327

AST

Facility Status OPEN
Facility-Site Id 8838327
Facility Status OPEN

DWM CONTAM

Program Site Id 8838327

F23
SE
1/8-1/4
0.167 mi.
883 ft.

RETAIL AUTO AUCTION KELLER TRUST PROPERTY
7659 SOUTHERN BLVD
WEST PALM BEACH, FL 33411

DWM CONTAM
RESP PARTY
ERIC WASTE CLEANUP

S127023808
N/A

[Click here for full text details](#)

Relative:
Higher

DWM CONTAM

Program Site Id ERIC_10834

RESP PARTY

Site Status CLOSED

E24
ESE
1/8-1/4
0.191 mi.
1011 ft.

PRESTIGE AUTO BODY REPAIR
7670 HOOPER ROAD 16
WEST PALM BEACH, FL 33411

HAZ WASTE

S130066853
N/A

[Click here for full text details](#)

Relative:
Higher

E25
ESE
1/8-1/4
0.191 mi.
1011 ft.

PALM BEACH RADIATOR
7670 HOOPER ROAD BAY 27
WEST PALM BEACH, FL 33411

RCRA NonGen / NLR
FINDS
ECHO

1000293958
FLD980804025

[Click here for full text details](#)

Relative:
Higher

RCRA NonGen / NLR

EPA Id FLD980804025

FINDS

Registry ID: 110002542124

ECHO

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
	PALM BEACH RADIATOR (Continued) Registry ID 110002542124		1000293958
E26 ESE 1/8-1/4 0.191 mi. 1011 ft.	JB AND CA ENTERPRISE LLC 7670 HOOPER RD, UNIT 11 WEST PALM BEACH, FL 33411 Click here for full text details	SWF/LF	S113900400 N/A
Relative: Higher	SWF/LF Facility-Site Id 98749 Class Status INACTIVE (I) Click here for Florida Oculus		
E27 East 1/8-1/4 0.202 mi. 1069 ft.	PALM BEACH AUTO CENTER 7673 HOOPER RD BAY 8 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181019 N/A
Relative: Higher			
E28 East 1/8-1/4 0.202 mi. 1069 ft.	RICE AUTO SERVICE 7673 HOOPER ROAD BAY 12 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130179436 N/A
Relative: Higher			
E29 East 1/8-1/4 0.202 mi. 1069 ft.	IMAGE CYCLELLC 7673 HOOPER RD 6 WEST PALM BEACH, FL 33409 Click here for full text details	HAZ WASTE	S130019865 N/A
Relative: Higher			
E30 East 1/8-1/4 0.202 mi. 1069 ft.	INTERNATIONAL PAINT & BODY 7673 HOOPER ROAD WEST PALM BEACH, FL 33411 Click here for full text details	E MANIFEST	1031320989 N/A
Relative: Higher			

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
E31 East 1/8-1/4 0.202 mi. 1069 ft.	YELLOW AUTO CENTER 7673 HOOPER RD B-6 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181137 N/A
Relative: Higher	<hr/>		
E32 East 1/8-1/4 0.202 mi. 1069 ft.	EXPRESS AUTO WORKS OF THE PALM BEACH 7673 HOOPER RD BAY 10 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130179431 N/A
Relative: Higher	<hr/>		
E33 East 1/8-1/4 0.202 mi. 1069 ft.	DOUG'S TRANSMISSION 7673 HOOPER RD B-5 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181138 N/A
Relative: Higher	<hr/>		
E34 East 1/8-1/4 0.202 mi. 1069 ft.	CULTURED MARBLE CREATIONS INC 7673 HOOPER RD WEST PALM BEACH, FL 33411 Click here for full text details	RCRA NonGen / NLR FINDS ECHO	1000460639 FLD984181602
Relative: Higher	<hr/>		
	RCRA NonGen / NLR EPA Id FLD984181602		
	FINDS Registry ID: 110005597096		
	ECHO Registry ID 110005597096		
E35 East 1/8-1/4 0.202 mi. 1069 ft.	ATLANTIC AUTO CENTER 7673 HOOPER RD #7 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130180656 N/A
Relative: Higher	<hr/>		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
E36 East 1/8-1/4 0.202 mi. 1069 ft. Relative: Higher	CUSTOM TRUCKS & CARS 7673 HOOPER RD 10 WEST PALM BEACH, FL 33413 Click here for full text details	HAZ WASTE	S130179376 N/A
E37 East 1/8-1/4 0.202 mi. 1069 ft. Relative: Higher	PV SMART ALIGNMENT 7673 HOOPER RD BAY 9 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130179463 N/A
G38 ESE 1/8-1/4 0.207 mi. 1095 ft. Relative: Higher	BILLS CUSTOM BIKES 7650 HOOPER RD 15 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130180371 N/A
G39 ESE 1/8-1/4 0.207 mi. 1095 ft. Relative: Higher	FINAL FINISH PLATING 7650 HOOPER RD WEST PALM BEACH, FL 33411 Click here for full text details RCRA NonGen / NLR EPA Id FLD980709422	SEMS-ARCHIVE RCRA NonGen / NLR	1000147778 FLD980709422
G40 ESE 1/8-1/4 0.207 mi. 1095 ft. Relative: Higher	FINAL FINISH PLATING AKA LOWE'S WAREHOUS 7650 HOOPER RD. WEST PALM BEACH, FL 33411 Click here for full text details FI Sites Facility-Site Id 000231 EPA ID FLD980709422 Click here for Florida Oculus	FI Sites	S100889115 N/A

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
G41 ESE 1/8-1/4 0.207 mi. 1095 ft. Relative: Higher	TRIPLE A AUTO BODY 7650 HOOPER ROAD 11 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130066852 N/A
42 SSE 1/8-1/4 0.211 mi. 1113 ft. Relative: Higher	PALM BEACH MULCH LLC 69 ARMADILLO WAY WEST PALM BEACH, FL 33411 Click here for full text details SWF/LF Facility-Site Id 102382 Class Status ACTIVITY NOT PERMITTED/REGISTERED (N) Click here for Florida Oculus	SWF/LF	S117979340 N/A
G43 ESE 1/8-1/4 0.215 mi. 1136 ft. Relative: Higher	ALMOVIN AUTO CARE, INC. 7640 HOOPER RD STE 2 WEST PALM BEACH, FL 33411 Click here for full text details SWF/LF Facility-Site Id 98887 Class Status INACTIVE (I) Click here for Florida Oculus	SWF/LF	S113900422 N/A
G44 ESE 1/8-1/4 0.215 mi. 1136 ft. Relative: Higher	DIESEL DOCTORS OF THE PALM BEACHES INC 7640 HOOPER RD WEST PALM BEACH, FL 33411 Click here for full text details RCRA NonGen / NLR EPA Id FLR000172791	RCRA NonGen / NLR	1014389370 FLR000172791
H45 NW 1/8-1/4 0.222 mi. 1171 ft. Relative: Higher	U-PULL AND PAY 551 BENOIST FARMS RD WEST PALM BEACH, FL 33411 Click here for full text details RCRA-VSQQ EPA Id FLR000062695	RCRA-VSQQ FINDS ECHO E MANIFEST	1001960253 FLR000062695
	FINDS		

MAP FINDINGS

Map ID					
Direction					
Distance					
Elevation	Site		Database(s)	EDR ID Number	EPA ID Number

U-PULL AND PAY (Continued)

1001960253

Registry ID: 110005660285

ECHO

Registry ID 110005660285

H46
NW
1/8-1/4
0.222 mi.
1171 ft.

U PULL AND PAY LLC
551 BENOIST FARMS RD
WEST PALM BEACH, FL 33411

AST U004035586
N/A

[Click here for full text details](#)

Relative:
Higher

AST
Facility Status OPEN
Facility-Site Id 9807974
Facility Status OPEN

H47
NW
1/8-1/4
0.222 mi.
1171 ft.

U PULL AND PAY LLC
551 BENOIST FARMS RD
WEST PALM BEACH, FL 33411

Financial Assurance S108173745
HAZ WASTE N/A

[Click here for full text details](#)

Relative:
Higher

Financial Assurance
Facility Status OPEN
Facility ID 9807974

G48
ESE
1/8-1/4
0.223 mi.
1178 ft.

EDUARDOS AUTO REPAIR & TOWING
7673 HOOPER RD BAY #4
WEST PALM BEACH, FL 33411

RCRA-VSQG 1001487155
FINDS FLR000056887
ECHO

[Click here for full text details](#)

Relative:
Higher

RCRA-VSQG
EPA Id FLR000056887

FINDS

Registry ID: 110005656646

ECHO

Registry ID 110005656646

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
G49 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	BRIANS CUSTOM BODY & PAINT 7641 HOOPER ROAD B-4 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130180623 N/A
G50 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	MIGUEL'S AUTO SERVICE 7641 HOOPER RD 10 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181313 N/A
G51 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	PALM BEACH MEDICAL TRANSPORT 7641 HOOPER RD #9 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130180657 N/A
G52 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	L.D.S. TRANSPORTATION REPAIR 7641 HOOPER RD B-8 WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181135 N/A
G53 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	YONARA USED TIRE & AUTO PARTS 7641 HOOPER ROAD WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130179446 N/A
G54 East 1/8-1/4 0.234 mi. 1234 ft. Relative: Higher	RAMON GOMEZ AUTO REPAIR 7641 HOOPER RD #13B WEST PALM BEACH, FL 33411 Click here for full text details	HAZ WASTE	S130181081 N/A

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
G55 ESE 1/8-1/4 0.237 mi. 1254 ft.	PALM BEACH AUTO CENTER 7641 HOOPER RD LOCAL #20 WEST PALM BEACH, FL 33411 Click here for full text details	RCRA NonGen / NLR FINDS ECHO	1000502564 FLD984227298
Relative: Higher	RCRA NonGen / NLR EPA Id FLD984227298		
	FINDS Registry ID: 110005612809		
	ECHO Registry ID 110005612809		
G56 ESE 1/8-1/4 0.237 mi. 1254 ft.	OQUENDO AUTOMOTIVE 7641 HOOPER RD BAY #2 WEST PALM BEACH, FL 33411 Click here for full text details	RCRA NonGen / NLR FINDS ECHO	1000502735 FLD984229047
Relative: Higher	RCRA NonGen / NLR EPA Id FLD984229047		
	FINDS Registry ID: 110005613764		
	ECHO Registry ID 110005613764		
I57 NNE 1/8-1/4 0.239 mi. 1260 ft.	D S EAKINS CONSTRUCTION 550 N BENOIST FARMS RD WEST PALM BEACH, FL 33401 Click here for full text details	UST FINDER UST FINDER RELEASE	1028241861 N/A
Relative: Higher			
I58 NNE 1/8-1/4 0.239 mi. 1260 ft.	D S EAKINS CONSTRUCTION 550 N BENOIST FARMS RD WEST PALM BEACH, FL 33401 Click here for full text details	LAST LUST UST AST CLEANUP SITES Financial Assurance RESP PARTY	U000131066 N/A
Relative: Higher			
	LAST Facility-Site Id 8841626		

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

D S EAKINS CONSTRUCTION (Continued)

U000131066

[Click here for Florida Oculus](#)

LUST

Discharge Cleanup Status RA - RA ONGOING
Facility-Site Id 8841626
Facility Status OPEN

[Click here for Florida Oculus](#)

UST

Facility Status OPEN
Facility-Site Id 8841626

AST

Facility Status OPEN
Facility-Site Id 8841626
Facility Status OPEN

CLEANUP SITES

DEP Cleanup Site Key 80879232

Financial Assurance

Facility Status OPEN
Facility ID 8841626

RESP PARTY

Site Status CLOSED

I59
NNE
1/8-1/4
0.239 mi.
1260 ft.

D S EAKINS CONSTRUCTION
550 N BENOIST FARMS RD
WEST PALM BEACH, FL 33401

DWM CONTAM S127023704
N/A

[Click here for full text details](#)

Relative:
Higher

DWM CONTAM
Program Site Id 8841626

60
West
1/4-1/2
0.252 mi.
1330 ft.

S & S TRASH HAULING
8233 GATOR LANE SUITE #33
W PALM BEACH, FL 33413

SWF/LF S113898851
N/A

[Click here for full text details](#)

Relative:
Higher

SWF/LF
Facility-Site Id 95925
Class Status INACTIVE (I)

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

S & S TRASH HAULING (Continued)

S113898851

[Click here for Florida Oculus](#)

61 North 1/4-1/2 0.255 mi. 1345 ft. Relative: Higher	SWA CROSS STATE LANDFILL , FL Click here for full text details SWF/LF Closed 7/1/76 Site Number 19	SWF/LF	S111220786 N/A
G62 ESE 1/4-1/2 0.262 mi. 1383 ft. Relative: Higher	HOOPER ROAD SITE , FL Click here for full text details SWF/LF Closed 1991 Site Number 88	SWF/LF	S111220713 N/A
J63 NE 1/4-1/2 0.273 mi. 1444 ft. Relative: Higher	CROSS STATE LANDFILL PIKE RD WEST PALM BEACH, FL 33402 Click here for full text details	SEMS-ARCHIVE	1000386034 FLD981016967
J64 NE 1/4-1/2 0.288 mi. 1519 ft. Relative: Higher	CROSS STATE LANDFILL PIKE ROAD WEST PALM BEACH, FL 33411 Click here for full text details SWF/LF Facility-Site Id 66213 Class Status CLOSED, NO GW MONITORING (J) Class Status NFA,NO FURTHER ACTION (F) Class Status PRE-AUTHORIZED (B) Click here for Florida Oculus	SWF/LF	S101011748 N/A

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

K65 ESE 1/4-1/2 0.291 mi. 1534 ft. Relative: Higher	A-1 ROOF TRUSSES INC 199 PIKE RD WEST PALM BEACH, FL 33411 Click here for full text details	UST FINDER UST FINDER RELEASE	1028240339 N/A
--	---	----------------------------------	-------------------

K66 ESE 1/4-1/2 0.291 mi. 1534 ft. Relative: Higher	A-1 ROOF TRUSSES INC 199 PIKE RD WEST PALM BEACH, FL 33411 Click here for full text details	LUST UST DWM CONTAM	U001367155 N/A
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LUST
 Discharge Cleanup Status NFA - NFA COMPLETE
 Facility-Site Id 8838159
 Facility Status CLOSED

[Click here for Florida Oculus](#)

UST
 Facility Status CLOSED
 Facility-Site Id 8838159

DWM CONTAM
 Program Site Id 8838159

67 West 1/4-1/2 0.315 mi. 1661 ft. Relative: Higher	ALMAZAN BROS TRUCKING INC 8357 KELLY DR WEST PALM BEACH, FL 33411 Click here for full text details	LUST UST AST DWM CONTAM Financial Assurance	U001367070 N/A
--	--	---	-------------------

LUST
 Discharge Cleanup Status SRCR - SRCR COMPLETE
 Facility-Site Id 8736886
 Facility Status CLOSED

[Click here for Florida Oculus](#)

UST
 Facility Status CLOSED
 Facility-Site Id 8736886

AST
 Facility Status CLOSED
 Facility-Site Id 8736886
 Facility Status CLOSED

DWM CONTAM

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

ALMAZAN BROS TRUCKING INC (Continued)

U001367070

Program Site Id 8736886

Financial Assurance

Facility Status CLOSED
Facility ID 8736886

J68
NE
1/4-1/2
0.317 mi.
1672 ft.

**CROSS STATE LANDFILL
PIKE RD.
WEST PALM BEACH, FL 33411**

**FI Sites S100888882
N/A**

[Click here for full text details](#)

Relative:
Higher

L69
East
1/4-1/2
0.347 mi.
1834 ft.

**WASTE MGMT SITE
205 PIKE RD
WEST PALM BEACH, FL 33411**

**LUST 1000293985
UST N/A
ASBESTOS
DWM CONTAM
Financial Assurance
RESP PARTY
ERIC WASTE CLEANUP**

[Click here for full text details](#)

Relative:
Higher

LUST

Discharge Cleanup Status NFA - NFA COMPLETE
Discharge Cleanup Status SRCR - SRCR COMPLETE
Facility-Site Id 8514836
Facility Status CLOSED

[Click here for Florida Oculus](#)

UST

Facility Status CLOSED
Facility-Site Id 8514836

DWM CONTAM

Program Site Id ERIC_8750
Program Site Id 8514836

Financial Assurance

Facility Status CLOSED
Facility ID 8514836

RESP PARTY

Site Status CLOSED

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
L70 East 1/4-1/2 0.347 mi. 1834 ft.	WASTE MGMT OF PALM BEACH 205 PIKE RD WEST PALM BEACH, FL 33411 Click here for full text details	SEMS-ARCHIVE RCRA NonGen / NLR	1000698310 FLD000622563
Relative: Higher	SEMS-ARCHIVE Site ID 0400466 EPA Id FLD000622563 RCRA NonGen / NLR EPA Id FLD000622563		
L71 East 1/4-1/2 0.347 mi. 1834 ft.	WASTE MGMT SITE 205 PIKE RD WEST PALM BEACH, FL 0 Click here for full text details	UST FINDER UST FINDER RELEASE	1028224556 N/A
Relative: Higher			
L72 East 1/4-1/2 0.347 mi. 1834 ft.	PALM BEACH SANITATION INC. 205 PIKE RD. W PALM BEACH, FL Click here for full text details	FI Sites	S100888913 N/A
Relative: Higher	FI Sites Facility-Site Id 000259 EPA ID FLD000622563 Click here for Florida Oculus		
M73 ENE 1/4-1/2 0.365 mi. 1925 ft.	PALM BEACH COUNTY FIRE RESCUE 405 PIKE RD ROYAL PALM BEACH, FL 33411 Click here for full text details	PFAS AQUEOUS FOAM CLEANUP SITES DWM CONTAM Financial Assurance RESP PARTY SITE INV SITES ERIC WASTE CLEANUP	S109418949 N/A
Relative: Higher	CLEANUP SITES DEP Cleanup Site Key 80884091 DWM CONTAM Program Site Id ERIC_7412 Financial Assurance Facility Status OPEN		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
--	------	-------------	--------------------------------

PALM BEACH COUNTY FIRE RESCUE (Continued)

S109418949

Facility ID 9810673

RESP PARTY

Site Status OPEN

M74 **THIS SITE AND ADDRESS NO LONGER EXIST**
ENE **491 PIKE RD**
 1/4-1/2 **WEST PALM BEACH, FL 0**
 0.385 mi.
 2031 ft.

UST FINDER **1028240353**
UST FINDER RELEASE **N/A**

[Click here for full text details](#)

Relative:
Higher

M75 **THIS SITE AND ADDRESS NO LONGER EXIST**
ENE **491 PIKE RD**
 1/4-1/2 **WEST PALM BEACH, FL 33411**
 0.385 mi.
 2031 ft.

LUST **U003804188**
UST **N/A**
AST
DWM CONTAM

[Click here for full text details](#)

Relative:
Higher

LUST

Discharge Cleanup Status NREQ - CLEANUP NOT REQUIRED
 Discharge Cleanup Status SRCR - SRCR COMPLETE
 Facility-Site Id 8838181
 Facility Status CLOSED

[Click here for Florida Oculus](#)

UST

Facility Status CLOSED
 Facility-Site Id 8838181

AST

Facility Status CLOSED
 Facility-Site Id 8838181
 Facility Status CLOSED

DWM CONTAM

Program Site Id 8838181

N76 **DIXIE LANDFILL**
ENE **, FL**
 1/4-1/2
 0.390 mi.
 2060 ft.

SWF/LF **S111220682**
N/A

[Click here for full text details](#)

Relative:
Higher

SWF/LF

Closed 1975
 Site Number 71

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
N77 ENE 1/4-1/2 0.390 mi. 2060 ft.	DIXIE LANDFILL(COUNTY DATA) PALM BEACH (County), FL Click here for full text details	SWF/LF	S108031559 N/A
Relative: Higher	SWF/LF Facility-Site Id 94306 Class Status CLOSED, NO GW MONITORING (J) Click here for Florida Oculus		
O78 NNW 1/4-1/2 0.408 mi. 2156 ft.	DUKE REALTY DOD6 759-849 BENOIST FARMS RD & 8201 8TH RD N WEST PALM BEACH, FL 33411 Click here for full text details	RESP PARTY ERIC WASTE CLEANUP	S128790804 N/A
Relative: Higher	RESP PARTY Site Status OPEN		
O79 NNW 1/4-1/2 0.408 mi. 2156 ft.	DUKE REALTY DOD6 759-849 BENOIST FARMS RD & 8201 8TH RD N WEST PALM BEACH, FL 33411 Click here for full text details	DWM CONTAM RESP PARTY ERIC WASTE CLEANUP	S128790803 N/A
Relative: Higher	DWM CONTAM Program Site Id ERIC_18127 Program Site Id ERIC_18128 RESP PARTY Site Status OPEN		
P80 WSW 1/4-1/2 0.440 mi. 2322 ft.	GREEN MEADOWS FARM 8569 SOUTHERN BLVD WEST PALM BEACH, FL 33411 Click here for full text details	UST FINDER UST FINDER RELEASE	1028250187 N/A
Relative: Higher			
P81 WSW 1/4-1/2 0.440 mi. 2322 ft.	GREEN MEADOWS FARM 8569 SOUTHERN BLVD WEST PALM BEACH, FL 33411 Click here for full text details	LUST UST DWM CONTAM	U001713470 N/A
Relative: Higher	LUST Discharge Cleanup Status SRCR - SRCR COMPLETE		

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

GREEN MEADOWS FARM (Continued)

U001713470

Facility-Site Id 9400092
Facility Status CLOSED

[Click here for Florida Oculus](#)

UST

Facility Status CLOSED
Facility-Site Id 9400092

DWM CONTAM

Program Site Id 9400092

O82
NNW
1/4-1/2
0.441 mi.
2328 ft.

MARKS LANDSCAPING & PAVING ACI

SWF/LF

S111220736
N/A

, FL

[Click here for full text details](#)

Relative:
Higher

SWF/LF

Site Number 113

Q83
North
1/4-1/2
0.465 mi.
2454 ft.

MARKS LANDSCAPE & PAVING CO

LUST

U001367117

829 BENOIST FARMS RD
WEST PALM BEACH, FL 33411

UST

N/A

AST

DWM CONTAM

[Click here for full text details](#)

Relative:
Higher

LUST

Discharge Cleanup Status NFA - NFA COMPLETE
Facility-Site Id 8837567
Facility Status OPEN

[Click here for Florida Oculus](#)

UST

Facility Status OPEN
Facility-Site Id 8837567

AST

Facility Status OPEN
Facility-Site Id 8837567
Facility Status OPEN

DWM CONTAM

Program Site Id 8837567

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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Q84
North
1/4-1/2
0.465 mi.
2454 ft.

ALLIED TIRE RECYCLING, LLC
829 BENOIST FARMS RD
WEST PALM BEACH, FL 33411

SWF/LF **S118238297**
N/A

Relative:
Higher

[Click here for full text details](#)

SWF/LF
Facility-Site Id 101321
Class Status ACTIVE (A)
Class Status INACTIVE (I)

[Click here for Florida Oculus](#)

Q85
North
1/4-1/2
0.465 mi.
2454 ft.

MARKS LANDSCAPE & PAVING CO
829 BENOIST FARMS RD
WEST PALM BEACH, FL 33411

UST FINDER **1028240021**
UST FINDER RELEASE **N/A**

Relative:
Higher

[Click here for full text details](#)

86
NE
1/2-1
0.618 mi.
3262 ft.

STENGER PROPERTY
832 PIKE RD
WEST PALM BEACH, FL 33411

SHWS **S112149549**
INST CONTROL **N/A**
CLEANUP SITES
RESP PARTY
TIER 2
ERIC WASTE CLEANUP

Relative:
Higher

[Click here for full text details](#)

SHWS
Facility Status Delisted
Facility ID 176
EPA Facility-Site Id ERIC_3946

INST CONTROL
Facility-Site Id ERIC_3946

CLEANUP SITES
DEP Cleanup Site Key 80875888

RESP PARTY
Site Status CLOSED

TIER 2
Facility Id 6645271
Facility Id 7431225
Facility Id 7275738
Facility Id 6841872
Facility Id 7098291

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
FL	AIRS	Permitted Facilities Listing	Department of Environmental Protection	07/22/2024	07/23/2024	08/16/2024
FL	AQUEOUS FOAM	Former Fire Training Facility Assessments Listing	Department of Environmental Protection	05/30/2024	05/31/2024	06/28/2024
FL	ASBESTOS	Asbestos Notification Listing	Department of Environmental Protection	08/08/2024	08/08/2024	08/19/2024
FL	AST	Storage Tank Facility Information	Department of Environmental Protection	11/11/2024	11/12/2024	01/27/2025
FL	BROWNFIELDS	Brownfields Sites Database	Department of Environmental Protection	12/02/2024	12/06/2024	12/11/2024
FL	BROWNFIELDS AREAS	Brownfields Areas Database	Department of Environmental Protection	11/26/2024	12/06/2024	12/11/2024
FL	BSRA	Brownfield Site Rehabilitation Agreements Listing	Department of Environmental Protection	06/07/2024	06/26/2024	09/16/2024
FL	CLEANUP SITES	DEP Cleanup Sites - Contamination Locator Map Listing	Department of Environmental Protection	08/19/2024	08/19/2024	11/05/2024
FL	DEDB	Ethylene Dibromide Database Results	Department of Environmental Protection	09/09/2024	09/11/2024	11/21/2024
FL	DRYCLEANERS	Drycleaning Facilities	Department of Environmental Protection	10/16/2024	10/18/2024	01/08/2025
FL	DWM CONTAM	DWM CONTAMINATED SITES	Department of Environmental Protection	07/14/2023	10/04/2023	12/20/2023
FL	ENG CONTROLS	Institutional Controls Registry	Department of Environmental Protection	09/12/2024	12/06/2024	12/09/2024
FL	ERIC WASTE CLEANUP	Environmental Restoration Integrated Cleanup Listing	Department of Environmental Protection	11/01/2024	12/06/2024	12/09/2024
FL	FF TANKS	Federal Facilities Listing	Department of Environmental Protection	09/16/2024	09/17/2024	12/02/2024
FL	FIN ASSURANCE 1	Financial Assurance Information Listing	Department of Environmental Protection	10/03/2024	10/22/2024	01/09/2025
FL	FIN ASSURANCE 2	Financial Assurance Information Listing	Department of Environmental Protection	10/03/2024	10/22/2024	01/09/2025
FL	FIN ASSURANCE 3	Financial Assurance Information Listing	Department of Environmental Protection	11/11/2024	11/12/2024	01/28/2025
FL	FL Cattle Dip. Vats	Cattle Dipping Vats	Department of Environmental Protection	09/27/2019	01/10/2020	02/11/2020
FL	FL SITES	Sites List	Department of Environmental Protection	12/31/1989	05/09/1994	08/04/1994
FL	HAZ WASTE	Hazardous Waste Information Listing	Department of Environmental Protection	11/11/2024	11/12/2024	01/28/2025
FL	HW GEN	Hazardous Waste Generators	Department of Environmental Protection	09/16/2024	09/17/2024	12/02/2024
FL	Inst Control	Institutional Controls Registry	Department of Environmental Protection	09/12/2024	12/06/2024	12/09/2024
FL	LAST	Leaking Aboveground Storage Tank Listing	Department of Environmental Protection	10/21/2024	10/22/2024	01/09/2025
FL	LUST	Petroleum Contamination Detail Report	Department of Environmental Protection	10/21/2024	10/22/2024	01/09/2025
FL	PFAS	PFOS and PFOA stand for perfluorooctane sulfonate and perflu	Department of Environmental Protection	01/17/2025	01/22/2025	01/28/2025
FL	PRIORITYCLEANERS	Priority Ranking List	Department of Environmental Protection	10/01/2024	11/05/2024	01/27/2025
FL	RESP PARTY	Responsible Party Sites Listing	Department of Environmental Protection	11/01/2024	12/06/2024	12/10/2024
FL	RGA HWS	Recovered Government Archive State Hazardous Waste Facilitie	Department of Environmental Protection		07/01/2013	12/30/2013
FL	RGA LF	Recovered Government Archive Solid Waste Facilities List	Department of Environmental Protection		07/01/2013	01/10/2014
FL	RGA LUST	Recovered Government Archive Leaking Underground Storage Tan	Department of Environmental Protection		07/01/2013	12/30/2013
FL	SHWS	Florida's State-Funded Action Sites	Department of Environmental Protection	10/26/2024	11/08/2024	01/27/2025
FL	SITE INV SITES	Site Investigation Section Sites Listing	Department of Environmental Protection	08/28/2024	11/08/2024	01/28/2025
FL	SOLCP	State-Owned Lands Cleanup Program Listing	Department of Environmental Protection	11/04/2024	11/05/2024	01/28/2025
FL	SPILLS	Oil and Hazardous Materials Incidents	Department of Environmental Protection	09/30/2024	10/01/2024	12/13/2024
FL	SPILLS 80	SPILLS80 data from FirstSearch	FirstSearch	09/01/2001	01/03/2013	03/06/2013
FL	SPILLS 90	SPILLS90 data from FirstSearch	FirstSearch	12/10/2012	01/03/2013	03/04/2013
FL	SWF/LF	Solid Waste Facility Database	Department of Environmental Protection	10/04/2024	10/04/2024	12/24/2024
FL	SWRCY	Recycling Centers	Department of Environmental Protection	08/20/2024	10/08/2024	12/24/2024
FL	TANKS	Storage Tank Facility List	Department of Environmental Protection	11/11/2024	11/12/2024	01/27/2025
FL	TIER 2	Tier 2 Facility Listing	Department of Environmental Protection	12/31/2023	06/06/2024	09/04/2024
FL	UIC	Underground Injection Wells Database Listing	Department of Environmental Protection	10/24/2024	10/25/2024	01/14/2025
FL	UST	Storage Tank Facility Information	Department of Environmental Protection	11/11/2024	11/12/2024	01/27/2025
FL	VCP	Voluntary Cleanup Sites	Department of Environmental Protection	11/07/2024	11/08/2024	11/21/2024
FL	WASTEWATER	Wastewater Facility Regulation Database	Department of Environmental Protection	10/28/2024	10/29/2024	01/14/2025
US	2020 COR ACTION	2020 Corrective Action Program List	Environmental Protection Agency	09/30/2017	05/08/2018	07/20/2018
US	ABANDONED MINES	Abandoned Mines	Department of Interior	09/10/2024	09/11/2024	11/19/2024
US	AQUEOUS FOAM NRC	Aqueous Foam Related Incidents Listing	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	BIOSOLIDS	ICIS-NPDES Biosolids Facility Data	Environmental Protection Agency	10/13/2024	10/16/2024	10/23/2024
US	BRS	Biennial Reporting System	EPANTIS	12/31/2021	03/09/2023	03/20/2023
US	COAL ASH DOE	Steam-Electric Plant Operation Data	Department of Energy	12/31/2023	10/16/2024	01/14/2025
US	COAL ASH EPA	Coal Combustion Residues Surface Impoundments List	Environmental Protection Agency	01/12/2017	03/05/2019	11/11/2019
US	CONSENT	Superfund (CERCLA) Consent Decrees	Department of Justice, Consent Decree Library	09/30/2024	10/09/2024	01/10/2025
US	CORRACTS	Corrective Action Report	EPA	09/16/2024	09/17/2024	12/06/2024
US	DEBRIS REGION 9	Torres Martinez Reservation Illegal Dump Site Locations	EPA, Region 9	01/12/2009	05/07/2009	09/21/2009
US	DOCKET HWC	Hazardous Waste Compliance Docket Listing	Environmental Protection Agency	05/06/2021	05/21/2021	08/11/2021
US	DOD	Department of Defense Sites	USGS	06/07/2021	07/13/2021	03/09/2022
US	DOT OPS	Incident and Accident Data	Department of Transportation, Office of Pipeli	10/04/2024	10/16/2024	12/06/2024
US	Delisted NPL	National Priority List Deletions	EPA	12/19/2024	01/02/2025	01/21/2025
US	E MANIFEST	Hazardous Waste Electronic Manifest System	Environmental Protection Agency	09/16/2024	09/17/2024	12/20/2024
US	ECHO	Enforcement & Compliance History Information	Environmental Protection Agency	12/21/2024	12/27/2024	01/10/2025
US	EDR Hist Auto	EDR Exclusive Historical Auto Stations	EDR, Inc.			
US	EDR Hist Cleaner	EDR Exclusive Historical Cleaners	EDR, Inc.			
US	EDR MGP	EDR Proprietary Manufactured Gas Plants	EDR, Inc.			
US	EPA WATCH LIST	EPA Watch List	Environmental Protection Agency	08/30/2013	03/21/2014	06/17/2014
US	ERNS	Emergency Response Notification System	National Response Center, United States Coast	06/11/2024	06/17/2024	09/04/2024
US	FEDERAL FACILITY	Federal Facility Site Information listing	Environmental Protection Agency	11/20/2024	12/18/2024	12/20/2024
US	FEDLAND	Federal and Indian Lands	U.S. Geological Survey	04/02/2018	04/11/2018	11/06/2019
US	FEMA UST	Underground Storage Tank Listing	FEMA	08/12/2024	10/30/2024	01/14/2025
US	FINDS	Facility Index System/Facility Registry System	EPA	08/13/2024	08/20/2024	08/28/2024
US	FTTS	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA/Office of Prevention, Pesticides and Toxi	04/09/2009	04/16/2009	05/11/2009
US	FTTS INSP	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA	04/09/2009	04/16/2009	05/11/2009
US	FUDS	Formerly Used Defense Sites	U.S. Army Corps of Engineers	10/01/2024	11/12/2024	01/21/2025
US	FUELS PROGRAM	EPA Fuels Program Registered Listing	EPA	11/08/2024	11/08/2024	01/14/2025
US	FUSRAP	Formerly Utilized Sites Remedial Action Program	Department of Energy	03/03/2023	03/03/2023	06/09/2023
US	HIST FTTS	FIFRA/TSCA Tracking System Administrative Case Listing	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HIST FTTS INSP	FIFRA/TSCA Tracking System Inspection & Enforcement Case Lis	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HMIRS	Hazardous Materials Information Reporting System	U.S. Department of Transportation	06/14/2024	06/17/2024	06/24/2024
US	ICIS	Integrated Compliance Information System	Environmental Protection Agency	11/18/2016	11/23/2016	02/10/2017
US	IHS OPEN DUMPS	Open Dumps on Indian Land	Department of Health & Human Serivces, Indian	02/07/2024	11/13/2024	11/19/2024
US	INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land	EPA Region 1	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land	EPA Region 10	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land	EPA Region 4	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land	EPA, Region 5	04/11/2024	05/30/2024	08/28/2024
US	INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land	EPA Region 6	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land	EPA Region 7	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land	EPA Region 8	05/07/2024	05/30/2024	08/28/2024
US	INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land	Environmental Protection Agency	05/07/2024	05/30/2024	08/28/2024
US	INDIAN ODI	Report on the Status of Open Dumps on Indian Lands	Environmental Protection Agency	12/31/1998	12/03/2007	01/24/2008
US	INDIAN RESERV	Indian Reservations	USGS	12/31/2014	07/14/2015	01/10/2017
US	INDIAN UST R1	Underground Storage Tanks on Indian Land	EPA, Region 1	05/14/2024	05/30/2024	08/28/2024
US	INDIAN UST R10	Underground Storage Tanks on Indian Land	EPA Region 10	05/14/2024	05/30/2024	08/28/2024
US	INDIAN UST R4	Underground Storage Tanks on Indian Land	EPA Region 4	05/14/2024	05/30/2024	08/28/2024
US	INDIAN UST R5	Underground Storage Tanks on Indian Land	EPA Region 5	04/11/2024	05/30/2024	08/28/2024
US	INDIAN UST R6	Underground Storage Tanks on Indian Land	EPA Region 6	05/14/2024	05/30/2024	08/28/2024

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	INDIAN UST R7	Underground Storage Tanks on Indian Land	EPA Region 7	05/14/2024	05/30/2024	08/28/2024
US	INDIAN UST R8	Underground Storage Tanks on Indian Land	EPA Region 8	05/14/2024	05/30/2024	08/28/2024
US	INDIAN UST R9	Underground Storage Tanks on Indian Land	EPA Region 9	05/14/2024	05/30/2024	08/28/2024
US	INDIAN VCP R1	Voluntary Cleanup Priority Listing	EPA, Region 1	07/27/2015	09/29/2015	02/18/2016
US	INDIAN VCP R7	Voluntary Cleanup Priority Lisitng	EPA, Region 7	03/20/2008	04/22/2008	05/19/2008
US	LEAD SMELTER 1	Lead Smelter Sites	Environmental Protection Agency	12/19/2024	01/02/2025	01/21/2025
US	LEAD SMELTER 2	Lead Smelter Sites	American Journal of Public Health	04/05/2001	10/27/2010	12/02/2010
US	LIENS 2	CERCLA Lien Information	Environmental Protection Agency	12/19/2024	01/02/2025	01/21/2025
US	LUCIS	Land Use Control Information System	Department of the Navy	07/15/2024	07/17/2024	10/09/2024
US	MINES MRDS	Mineral Resources Data System	USGS	08/23/2022	11/22/2022	02/28/2023
US	MINES VIOLATIONS	MSHA Violation Assessment Data	DOL, Mine Safety & Health Admi	10/01/2024	10/02/2024	10/09/2024
US	MLTS	Material Licensing Tracking System	Nuclear Regulatory Commission	10/12/2024	10/17/2024	11/19/2024
US	NPL	National Priority List	EPA	12/19/2024	01/02/2025	01/21/2025
US	NPL LIENS	Federal Superfund Liens	EPA	10/15/1991	02/02/1994	03/30/1994
US	ODI	Open Dump Inventory	Environmental Protection Agency	06/30/1985	08/09/2004	09/17/2004
US	PADS	PCB Activity Database System	EPA	07/01/2024	10/02/2024	01/10/2025
US	PCB TRANSFORMER	PCB Transformer Registration Database	Environmental Protection Agency	09/13/2019	11/06/2019	02/10/2020
US	PCS	Permit Compliance System	EPA, Office of Water	12/16/2016	01/06/2017	03/10/2017
US	PCS ENF	Enforcement data	EPA	12/31/2014	02/05/2015	03/06/2015
US	PFAS ATSDR	PFAS Contamination Site Location Listing	Department of Health & Human Services	06/24/2020	03/17/2021	11/08/2022
US	PFAS ECHO	Facilities in Industries that May Be Handling PFAS Listing	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS ECHO FIRE TRAIN	Facilities in Industries that May Be Handling PFAS Listing	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS FEDERAL SITES	Federal Sites PFAS Information	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS NPDES	Clean Water Act Discharge Monitoring Information	Environmental Protection Agency	12/30/2024	01/02/2025	01/14/2025
US	PFAS NPL	Superfund Sites with PFAS Detections Information	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS PROJECT	NORTHEASTERN UNIVERSITY PFAS PROJECT	Social Science Environmental Health Research	05/19/2023	04/05/2024	06/06/2024
US	PFAS PT 139 AIRPORT	All Certified Part 139 Airports PFAS Information Listing	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS RCRA MANIFEST	PFAS Transfers Identified In the RCRA Database Listing	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS TRIS	List of PFAS Added to the TRI	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS TSCA	PFAS Manufacture and Imports Information	Environmental Protection Agency	12/30/2024	01/02/2025	01/10/2025
US	PFAS WQP	Ambient Environmental Sampling for PFAS	Environmental Protection Agency	12/13/2024	01/02/2025	01/10/2025
US	PRP	Potentially Responsible Parties	EPA	09/19/2023	10/03/2023	10/19/2023
US	Proposed NPL	Proposed National Priority List Sites	EPA	12/19/2024	01/02/2025	01/21/2025
US	RAATS	RCRA Administrative Action Tracking System	EPA	04/17/1995	07/03/1995	08/07/1995
US	RADINFO	Radiation Information Database	Environmental Protection Agency	07/01/2019	07/01/2019	09/23/2019
US	RCRA NonGen / NLR	RCRA - Non Generators / No Longer Regulated	Environmental Protection Agency	09/16/2024	09/17/2024	12/06/2024
US	RCRA-LQG	RCRA - Large Quantity Generators	Environmental Protection Agency	09/16/2024	09/17/2024	12/06/2024
US	RCRA-SQG	RCRA - Small Quantity Generators	Environmental Protection Agency	09/16/2024	09/17/2024	12/06/2024
US	RCRA-TSDF	RCRA - Treatment, Storage and Disposal	Environmental Protection Agency	09/16/2024	09/17/2024	12/06/2024
US	RCRA-VSQG	RCRA - Very Small Quantity Generators (Formerly Conditionall	Environmental Protection Agency	09/16/2024	09/17/2024	12/06/2024
US	RMP	Risk Management Plans	Environmental Protection Agency	10/01/2024	10/23/2024	01/14/2025
US	ROD	Records Of Decision	EPA	10/24/2024	11/01/2024	11/19/2024
US	SCRD DRYCLEANERS	State Coalition for Remediation of Drycleaners Listing	Environmental Protection Agency	07/30/2021	02/03/2023	02/10/2023
US	SEMS	Superfund Enterprise Management System	EPA	12/19/2024	01/02/2025	01/21/2025
US	SEMS-ARCHIVE	Superfund Enterprise Management System Archive	EPA	12/19/2024	01/02/2025	01/21/2025
US	SSTS	Section 7 Tracking Systems	EPA	10/15/2024	10/16/2024	01/14/2025
US	TRIS	Toxic Chemical Release Inventory System	EPA	12/31/2022	11/13/2023	02/07/2024

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	TSCA	Toxic Substances Control Act	EPA	12/31/2020	06/14/2022	03/24/2023
US	UMTRA	Uranium Mill Tailings Sites	Department of Energy	05/08/2024	08/14/2024	08/28/2024
US	US AIRS (AFS)	Aerometric Information Retrieval System Facility Subsystem (EPA	10/12/2016	10/26/2016	02/03/2017
US	US AIRS MINOR	Air Facility System Data	EPA	10/12/2016	10/26/2016	02/03/2017
US	US BROWNFIELDS	A Listing of Brownfields Sites	Environmental Protection Agency	09/09/2024	09/11/2024	12/06/2024
US	US CDL	Clandestine Drug Labs	Drug Enforcement Administration	05/20/2024	08/19/2024	10/09/2024
US	US ENG CONTROLS	Engineering Controls Sites List	Environmental Protection Agency	07/24/2024	08/08/2024	08/15/2024
US	US FIN ASSUR	Financial Assurance Information	Environmental Protection Agency	09/16/2024	09/17/2024	12/20/2024
US	US HIST CDL	National Clandestine Laboratory Register	Drug Enforcement Administration	05/20/2024	08/19/2024	10/09/2024
US	US INST CONTROLS	Institutional Controls Sites List	Environmental Protection Agency	07/24/2024	08/08/2024	08/15/2024
US	US MINES	Mines Master Index File	Department of Labor, Mine Safety and Health A	08/06/2024	08/14/2024	08/15/2024
US	US MINES 2	Ferrous and Nonferrous Metal Mines Database Listing	USGS	05/02/2024	08/20/2024	10/09/2024
US	US MINES 3	Active Mines & Mineral Plants Database Listing	USGS	04/14/2011	06/08/2011	09/13/2011
US	UST FINDER	UST Finder Database	Environmental Protection Agency	06/08/2023	10/04/2023	01/18/2024
US	UST FINDER RELEASE	UST Finder Releases Database	Environmental Protecton Agency	06/08/2023	10/31/2023	01/18/2024
US	UXO	Unexploded Ordnance Sites	Department of Defense	09/06/2023	09/13/2023	12/11/2023
CT	CT MANIFEST	Hazardous Waste Manifest Data	Department of Energy & Environmental Protecti	11/04/2024	11/05/2024	01/27/2025
NJ	NJ MANIFEST	Manifest Information	Department of Environmental Protection	12/31/2018	04/10/2019	05/16/2019
NY	NY MANIFEST	Facility and Manifest Data	Department of Environmental Conservation	12/31/2019	11/30/2023	12/01/2023
PA	PA MANIFEST	Manifest Information	Department of Environmental Protection	06/30/2018	07/19/2019	09/10/2019
RI	RI MANIFEST	Manifest information	Department of Environmental Management	12/31/2020	11/30/2021	02/18/2022
WI	WI MANIFEST	Manifest Information	Department of Natural Resources	05/31/2018	06/19/2019	09/03/2019
US	AHA Hospitals	Sensitive Receptor: AHA Hospitals	American Hospital Association, Inc.			
US	Medical Centers	Sensitive Receptor: Medical Centers	Centers for Medicare & Medicaid Services			
US	Nursing Homes	Sensitive Receptor: Nursing Homes	National Institutes of Health			
US	Public Schools	Sensitive Receptor: Public Schools	National Center for Education Statistics			
US	Private Schools	Sensitive Receptor: Private Schools	National Center for Education Statistics			
FL	Daycare Centers	Sensitive Receptor: Department of Children & Families	Provider Information			
US	Flood Zones	100-year and 500-year flood zones	Emergency Management Agency (FEMA)			
US	NWI	National Wetlands Inventory	U.S. Fish and Wildlife Service			
FL	State Wetlands	Wetlands Inventory	Department of Environmental Protection			
US	Topographic Map		U.S. Geological Survey			
US	Oil/Gas Pipelines		Endeavor Business Media			
US	Electric Power Transmission Line Data		Endeavor Business Media			

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St **Acronym** **Full Name** **Government Agency** **Gov Date** **Arvl. Date** **Active Date**

STREET AND ADDRESS INFORMATION

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GEOCHECK® - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

BENOIST FARMS
100 N BENOIST FARMS RD
WEST PALM BEACH, FL 33411

TARGET PROPERTY COORDINATES

Latitude (North):	26.681709 - 26° 40' 54.15"
Longitude (West):	80.172837 - 80° 10' 22.21"
Universal Tranverse Mercator:	Zone 17
UTM X (Meters):	582300.1
UTM Y (Meters):	2951283.2
Elevation:	18 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	17176303 PALM BEACH FARMS, FL
Version Date:	2021

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

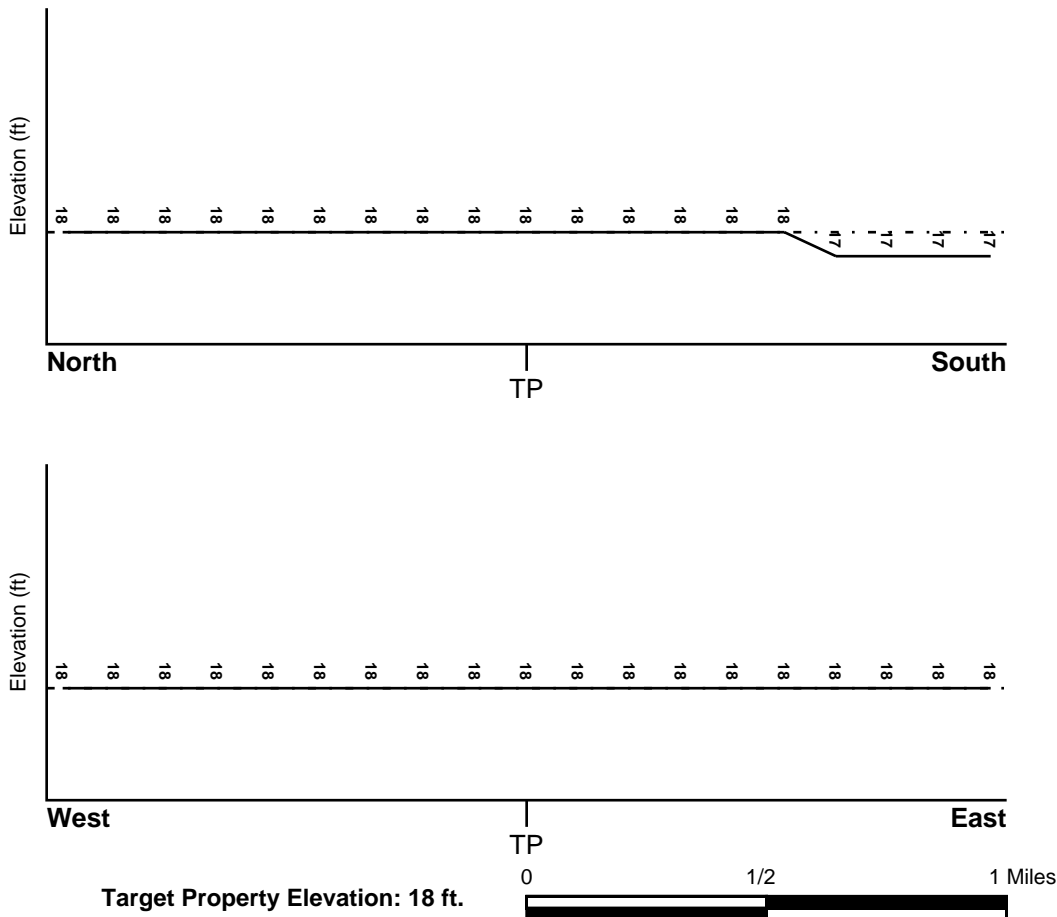
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: Undeterminable

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
1201920150A	FEMA Q3 Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
1201920160A	FEMA Q3 Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
PALM BEACH FARMS	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data*:

Search Radius:	1.25 miles
Status:	Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
I29	1/4 - 1/2 Mile NNW	SW
J32	1/4 - 1/2 Mile WSW	SW
73	1/2 - 1 Mile North	NE
111	1/2 - 1 Mile East	SSE
1G	1/2 - 1 Mile North	NE
2G	1/4 - 1/2 Mile NNW	SW
3G	1/2 - 1 Mile East	SSE
4G	1/4 - 1/2 Mile WSW	SW

For additional site information, refer to Physical Setting Source Map Findings.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

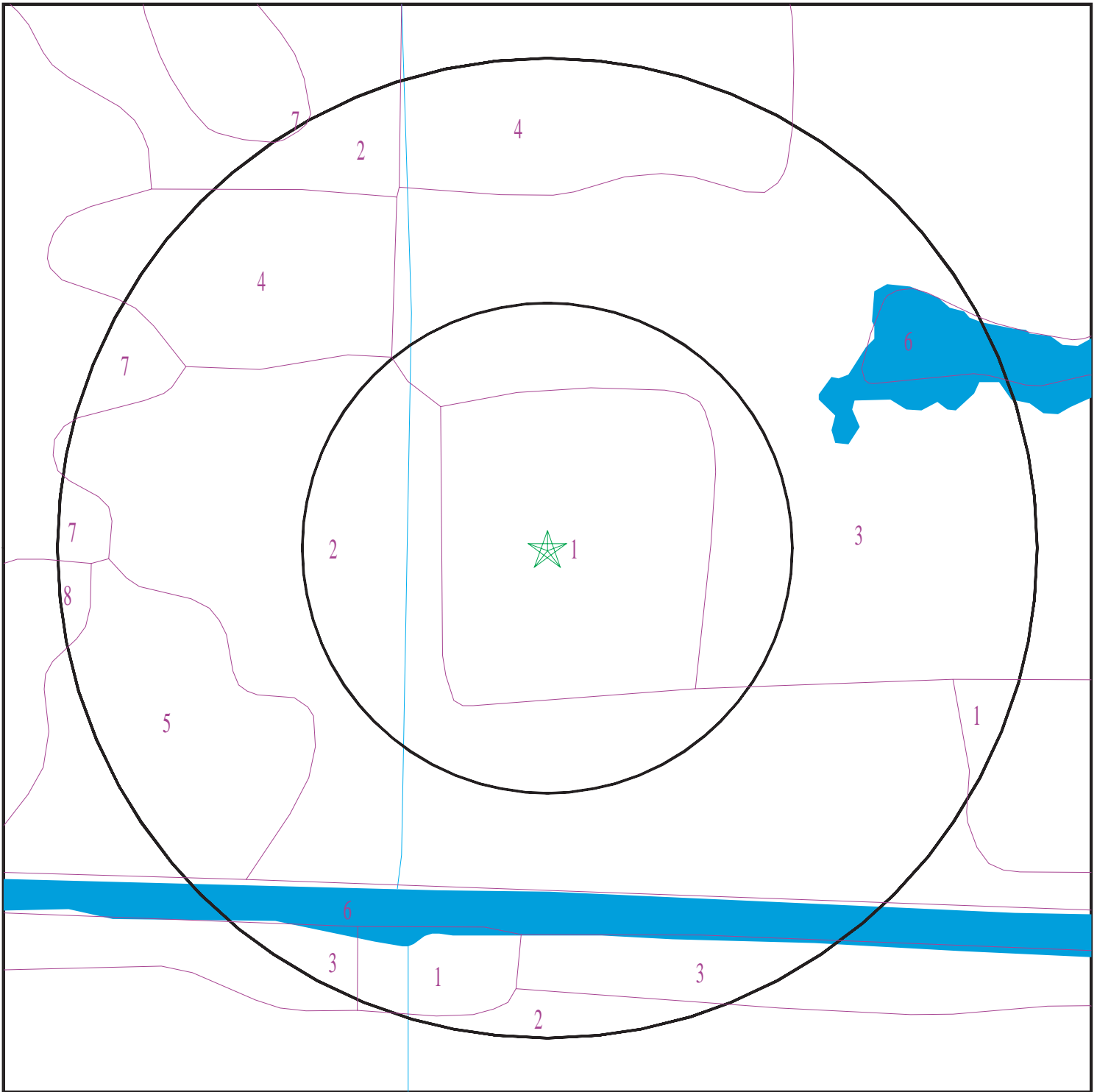
Era: Cenozoic
System: Quaternary
Series: Pleistocene
Code: Qp (*decoded above as Era, System & Series*)

GEOLOGIC AGE IDENTIFICATION

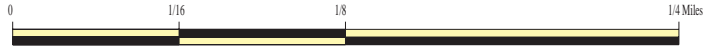
Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 7891256.2s



- ★ Target Property
- SSURGO Soil
- Water



SITE NAME: Benoist Farms
ADDRESS: 100 N Benoist Farms Rd
West Palm Beach FL 33411
LAT/LONG: 26.681709 / 80.172837

CLIENT: Wantman Group Inc
CONTACT: Leroy Feeny
INQUIRY #: 7891256.2s
DATE: February 06, 2025 9:13 am

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Arents

Soil Surface Texture: sand

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Somewhat poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 76 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	sand	Not reported	Not reported	Max: 141 Min: 42	Max: 6.5 Min: 5.6
2	9 inches	31 inches	sand	Not reported	Not reported	Max: 141 Min: 42	Max: 6.5 Min: 5.6
3	31 inches	72 inches	sand	Not reported	Not reported	Max: 141 Min: 42	Max: 6.5 Min: 5.6

Soil Map ID: 2

Soil Component Name: Riviera

Soil Surface Texture: fine sand

Hydrologic Group: Class C/D - Drained/undrained hydrology class of soils that can be drained and classified.

Soil Drainage Class: Poorly drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 15 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	27 inches	fine sand	Not reported	Not reported	Max: 42 Min: 4	Max: 8.4 Min: 7.9
2	27 inches	35 inches	sandy loam	Not reported	Not reported	Max: 42 Min: 4	Max: 8.4 Min: 7.9
3	35 inches	42 inches	sandy loam	Not reported	Not reported	Max: 42 Min: 4	Max: 8.4 Min: 7.9
4	42 inches	79 inches	fine sand	Not reported	Not reported	Max: 42 Min: 4	Max: 8.4 Min: 7.9

Soil Map ID: 3

Soil Component Name: Udorthents

Soil Surface Texture: gravelly sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Well drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	57 inches	gravelly sand	Not reported	Not reported	Max: 141 Min: 42	Max: 8.4 Min: 7.4

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 4

Soil Component Name: Urban land

Soil Surface Texture: variable

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class:
Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	variable	Not reported	Not reported	Max: Min:	Max: Min:

Soil Map ID: 5

Soil Component Name: Boca

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 15 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	fine sand	Not reported	Not reported	Max: 14 Min: 1.4	Max: 8.4 Min: 5.1
2	3 inches	28 inches	fine sand	Not reported	Not reported	Max: 14 Min: 1.4	Max: 8.4 Min: 5.1
3	35 inches	35 inches	bedrock	Not reported	Not reported	Max: 14 Min: 1.4	Max: 8.4 Min: 5.1
4	28 inches	35 inches	sandy clay loam	Not reported	Not reported	Max: 14 Min: 1.4	Max: 8.4 Min: 5.1

Soil Map ID: 6

Soil Component Name: Water

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class:
Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

Soil Map ID: 7

Soil Component Name: Chobee

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Very poorly drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: All hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 7 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	25 inches	fine sandy loam	Not reported	Not reported	Max: 42 Min: 14	Max: 7.8 Min: 5.6
2	25 inches	37 inches	sandy clay loam	Not reported	Not reported	Max: 42 Min: 14	Max: 7.8 Min: 5.6
3	37 inches	79 inches	loamy sand	Not reported	Not reported	Max: 42 Min: 14	Max: 7.8 Min: 5.6

Soil Map ID: 8

Soil Component Name: Pinellas

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 31 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	18 inches	fine sand	Not reported	Not reported	Max: 141 Min: 42	Max: 8.4 Min: 7.9
2	18 inches	35 inches	fine sand	Not reported	Not reported	Max: 141 Min: 42	Max: 8.4 Min: 7.9

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
3	35 inches	53 inches	fine sandy loam	Not reported	Not reported	Max: 141 Min: 42	Max: 8.4 Min: 7.9
4	53 inches	79 inches	fine sand	Not reported	Not reported	Max: 141 Min: 42	Max: 8.4 Min: 7.9

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
B5	USGS40000237837	1/8 - 1/4 Mile NNW
B6	USGS40000237845	1/8 - 1/4 Mile North
B7	USGS40000237846	1/8 - 1/4 Mile North
10	USGS40000237809	1/8 - 1/4 Mile East
H20	USGS40000237861	1/4 - 1/2 Mile NNE
H21	USGS40000237862	1/4 - 1/2 Mile NNE
I24	USGS40000237865	1/4 - 1/2 Mile NNW
I25	USGS40000237866	1/4 - 1/2 Mile NNW
36	USGS40000237872	1/4 - 1/2 Mile NNE
37	USGS40000237844	1/4 - 1/2 Mile ENE
K38	USGS40000237879	1/4 - 1/2 Mile North
K39	USGS40000237880	1/4 - 1/2 Mile North
40	USGS40000237804	1/4 - 1/2 Mile West
M43	USGS40000237860	1/2 - 1 Mile NE
M44	USGS40000237859	1/2 - 1 Mile NE
M45	USGS40000237858	1/2 - 1 Mile NE
O48	USGS40000237821	1/2 - 1 Mile East
O49	USGS40000237820	1/2 - 1 Mile East
O50	USGS40000237823	1/2 - 1 Mile East

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

FEDERAL USGS WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
O51	USGS40000237822	1/2 - 1 Mile East
S60	USGS40000237897	1/2 - 1 Mile NNE
T63	USGS40000237864	1/2 - 1 Mile ENE
X71	USGS40000237877	1/2 - 1 Mile NE
X72	USGS40000237878	1/2 - 1 Mile NE
77	USGS40000237756	1/2 - 1 Mile SSW
120	USGS40000237794	1/2 - 1 Mile East

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
28	FL4504447	1/4 - 1/2 Mile ESE

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
A1	FLSO13020475019	0 - 1/8 Mile SSE
A2	FLSO13020471997	0 - 1/8 Mile SE
A3	FLSO13020475018	0 - 1/8 Mile SE
4	FLSO13020636698	1/8 - 1/4 Mile West
C8	FLSO13020636800	1/8 - 1/4 Mile WSW
C9	FLSO13020641023	1/8 - 1/4 Mile SW
C11	FLSO13020621532	1/8 - 1/4 Mile WSW
C12	FLSO13020637473	1/8 - 1/4 Mile WSW
D13	FLSO13020566992	1/8 - 1/4 Mile SSW
D14	FLSO13020567085	1/8 - 1/4 Mile SSW
E15	FLSO13020602943	1/4 - 1/2 Mile ESE
E16	FLSO13020646695	1/4 - 1/2 Mile ESE
F17	FLSA13000015050	1/4 - 1/2 Mile WSW
G18	FLSA13000015047	1/4 - 1/2 Mile West
F19	FLSO13020491060	1/4 - 1/2 Mile SW
G22	FLSA13000015048	1/4 - 1/2 Mile West
23	FLSO13020409306	1/4 - 1/2 Mile SSW
G26	FLSA13000015046	1/4 - 1/2 Mile West
27	FLSO13020478849	1/4 - 1/2 Mile East
30	FLSA13000015044	1/4 - 1/2 Mile West
31	FLSA13000015045	1/4 - 1/2 Mile NW
J33	FLSA13000015049	1/4 - 1/2 Mile WSW
34	FLSO13020535473	1/4 - 1/2 Mile South
35	FLSO13020412742	1/4 - 1/2 Mile SSW
L41	FLSO13020573316	1/4 - 1/2 Mile West
L42	FLSO13020573314	1/2 - 1 Mile West
N46	FLSO13020596926	1/2 - 1 Mile SE
N47	FLSO13020598535	1/2 - 1 Mile SE
P52	FLSO13020556751	1/2 - 1 Mile NNW
N53	FLSO13020595112	1/2 - 1 Mile SSE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

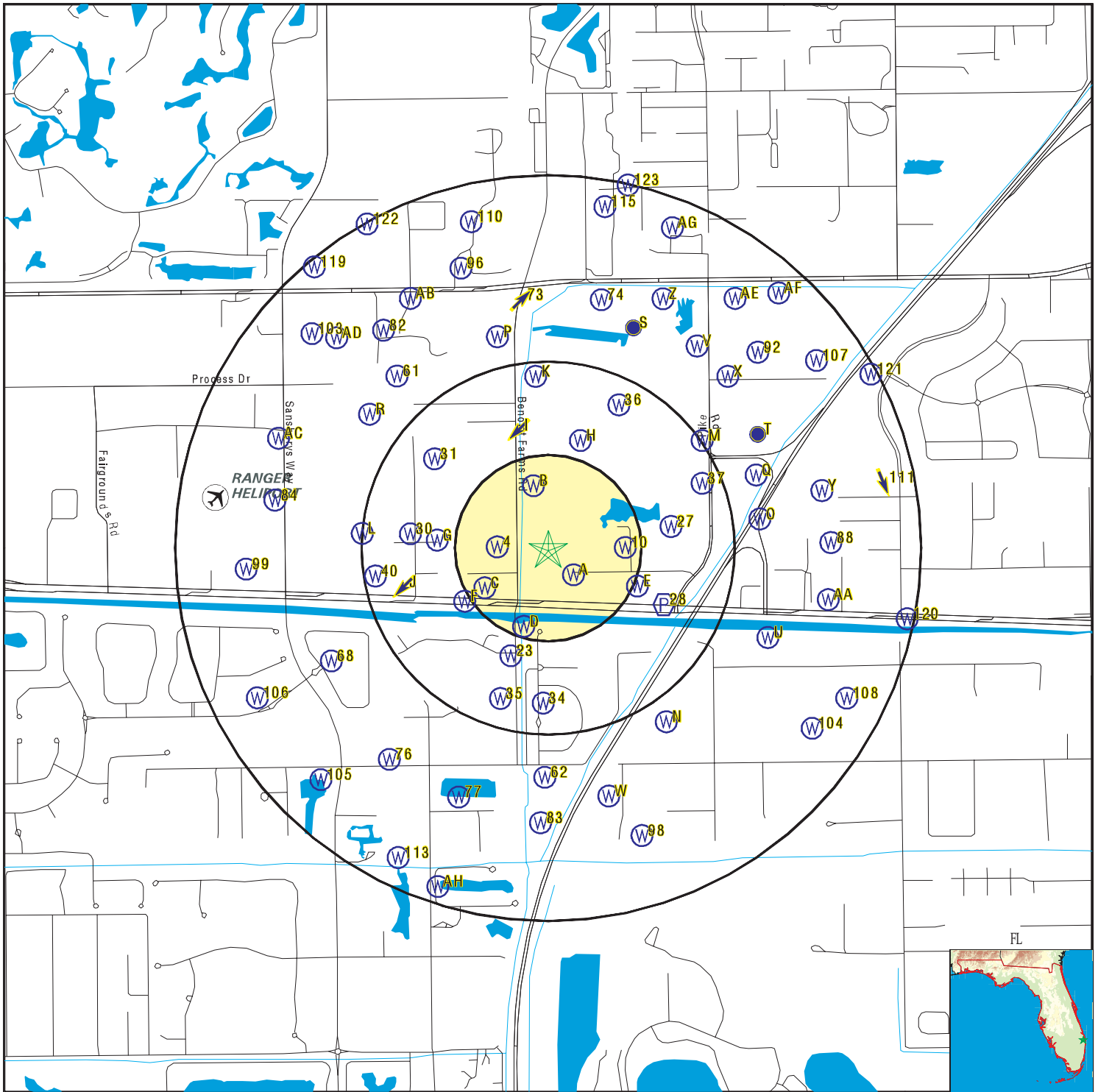
MAP ID	WELL ID	LOCATION FROM TP
P54	FLSO13020600057	1/2 - 1 Mile NNW
Q55	FLSA13000005500	1/2 - 1 Mile ENE
Q56	FLSO13020514574	1/2 - 1 Mile ENE
Q57	FLSO13020514573	1/2 - 1 Mile ENE
R58	FLSO13020645750	1/2 - 1 Mile NW
R59	FLSO13020614283	1/2 - 1 Mile NW
61	FLSO13020404771	1/2 - 1 Mile NW
62	FLSO13020633181	1/2 - 1 Mile South
U64	FLSA13000111608	1/2 - 1 Mile ESE
U65	FLSO13020619750	1/2 - 1 Mile ESE
T66	FLSO13020617692	1/2 - 1 Mile ENE
V67	FLSO13020632146	1/2 - 1 Mile NE
68	FLSO13020615309	1/2 - 1 Mile WSW
W69	FLSO13020475117	1/2 - 1 Mile SSE
S70	FLSA13000013679	1/2 - 1 Mile NNE
74	FLSA13000013681	1/2 - 1 Mile NNE
V75	FLSO13020598771	1/2 - 1 Mile NE
76	FLSO13020611016	1/2 - 1 Mile SW
W78	FLSO13020475120	1/2 - 1 Mile SSE
Y79	FLSO13020570725	1/2 - 1 Mile ENE
Z80	FLSA13000013680	1/2 - 1 Mile NNE
Z81	FLSO13020637218	1/2 - 1 Mile NNE
82	FLSO13020539882	1/2 - 1 Mile NW
83	FLSO13020616475	1/2 - 1 Mile South
84	FLSO13020633869	1/2 - 1 Mile West
AA85	FLSO13020583617	1/2 - 1 Mile East
AB86	FLSO13020547851	1/2 - 1 Mile NNW
Z87	FLSA13000072737	1/2 - 1 Mile NNE
88	FLSA13000091440	1/2 - 1 Mile East
Y89	FLSO13020541688	1/2 - 1 Mile ENE
AC90	FLSO13020615679	1/2 - 1 Mile WNW
Y91	FLSO13020585414	1/2 - 1 Mile East
92	FLSO13020480877	1/2 - 1 Mile NE
AD93	FLSO13020646385	1/2 - 1 Mile NW
AB94	FLSO13020547853	1/2 - 1 Mile NNW
AA95	FLSO13020594918	1/2 - 1 Mile East
96	FLSO13020423032	1/2 - 1 Mile NNW
AC97	FLSO13020615677	1/2 - 1 Mile WNW
98	FLSO13020404463	1/2 - 1 Mile SSE
99	FLSO13020589211	1/2 - 1 Mile West
AD100	FLSO13020583456	1/2 - 1 Mile NW
AE101	FLSO13020590996	1/2 - 1 Mile NE
AE102	FLSO13020591788	1/2 - 1 Mile NE
103	FLSO13020514695	1/2 - 1 Mile NW
104	FLSO13020576412	1/2 - 1 Mile SE
105	FLSO13020456759	1/2 - 1 Mile SW
106	FLSO13020615308	1/2 - 1 Mile WSW
107	FLSO13020633190	1/2 - 1 Mile NE
108	FLSO13020601874	1/2 - 1 Mile ESE
AF109	FLSO13020487366	1/2 - 1 Mile NE
110	FLSO13020423033	1/2 - 1 Mile NNW
AG112	FLSO13020556006	1/2 - 1 Mile NNE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
113	FLSO13020508202	1/2 - 1 Mile SSW
AG114	FLSO13020556007	1/2 - 1 Mile NNE
115	FLSO13020503706	1/2 - 1 Mile North
AF116	FLSO13020581769	1/2 - 1 Mile NE
AH117	FLSO13020525777	1/2 - 1 Mile SSW
AH118	FLSO13020525252	1/2 - 1 Mile SSW
119	FLSO13020524434	1/2 - 1 Mile NW
121	FLSO13020610524	1/2 - 1 Mile ENE
122	FLSO13020524437	1/2 - 1 Mile NNW
123	FLSO13020497704	1/2 - 1 Mile NNE

PHYSICAL SETTING SOURCE MAP - 7891256.2s



- County Boundary
- Major Roads
- Contour Lines
- Airports
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons
- Groundwater Flow Direction
- Sink holes
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells

No contour lines were detected within this map area.

SITE NAME: Benoist Farms
 ADDRESS: 100 N Benoist Farms Rd
 West Palm Beach FL 33411
 LAT/LONG: 26.681709 / 80.172837

CLIENT: Wantman Group Inc
 CONTACT: Leroy Feeny
 INQUIRY #: 7891256.2s
 DATE: February 06, 2025 9:13 am

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID	Direction	Distance	Elevation	Database	EDR ID Number
A1	SSE	0 - 1/8 Mile	Higher	FL WELLS	FLSO13020475019
		Click here for full text details			
A2	SE	0 - 1/8 Mile	Higher	FL WELLS	FLSO13020471997
		Click here for full text details			
A3	SE	0 - 1/8 Mile	Higher	FL WELLS	FLSO13020475018
		Click here for full text details			
4	West	1/8 - 1/4 Mile	Higher	FL WELLS	FLSO13020636698
		Click here for full text details			
B5	NNW	1/8 - 1/4 Mile	Higher	FED USGS	USGS40000237837
		Click here for full text details			
B6	North	1/8 - 1/4 Mile	Higher	FED USGS	USGS40000237845
		Click here for full text details			
B7	North	1/8 - 1/4 Mile	Higher	FED USGS	USGS40000237846
		Click here for full text details			
C8	WSW	1/8 - 1/4 Mile	Higher	FL WELLS	FLSO13020636800
		Click here for full text details			

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
C9 SW 1/8 - 1/4 Mile Higher	Click here for full text details	FL WELLS	FLSO13020641023
10 East 1/8 - 1/4 Mile Higher	Click here for full text details	FED USGS	USGS40000237809
C11 WSW 1/8 - 1/4 Mile Higher	Click here for full text details	FL WELLS	FLSO13020621532
C12 WSW 1/8 - 1/4 Mile Higher	Click here for full text details	FL WELLS	FLSO13020637473
D13 SSW 1/8 - 1/4 Mile Higher	Click here for full text details	FL WELLS	FLSO13020566992
D14 SSW 1/8 - 1/4 Mile Higher	Click here for full text details	FL WELLS	FLSO13020567085
E15 ESE 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020602943
E16 ESE 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020646695
F17 WSW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015050

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
G18 West 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015047
F19 SW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020491060
H20 NNE 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237861
H21 NNE 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237862
G22 West 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015048
23 SSW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020409306
I24 NNW 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237865
I25 NNW 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237866
G26 West 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015046

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
27 East 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020478849
28 ESE 1/4 - 1/2 Mile Higher	Click here for full text details	FRDS PWS	FL4504447
I29 NNW 1/4 - 1/2 Mile Higher	Click here for full text details	AQUIFLOW	1365
30 West 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015044
31 NW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015045
J32 WSW 1/4 - 1/2 Mile Higher	Click here for full text details	AQUIFLOW	1347
J33 WSW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSA13000015049
34 South 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020535473
35 SSW 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020412742

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
36 NNE 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237872
37 ENE 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237844
K38 North 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237879
K39 North 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237880
40 West 1/4 - 1/2 Mile Higher	Click here for full text details	FED USGS	USGS40000237804
L41 West 1/4 - 1/2 Mile Higher	Click here for full text details	FL WELLS	FLSO13020573316
L42 West 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020573314
M43 NE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237860
M44 NE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237859

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
M45 NE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237858
N46 SE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020596926
N47 SE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020598535
O48 East 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237821
O49 East 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237820
O50 East 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237823
O51 East 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237822
P52 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020556751
N53 SSE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020595112

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
P54 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020600057
Q55 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000005500
Q56 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020514574
Q57 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020514573
R58 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020645750
R59 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020614283
S60 NNE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237897
61 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020404771
62 South 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020633181

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
T63 ENE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237864
U64 ESE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000111608
U65 ESE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020619750
T66 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020617692
V67 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020632146
68 WSW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020615309
W69 SSE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020475117
S70 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000013679
X71 NE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237877

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
X72 NE 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237878
73 North 1/2 - 1 Mile Higher	Click here for full text details	AQUIFLOW	1390
74 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000013681
V75 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020598771
76 SW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020611016
77 SSW 1/2 - 1 Mile Lower	Click here for full text details	FED USGS	USGS40000237756
W78 SSE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020475120
Y79 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020570725
Z80 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000013680

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
Z81 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020637218
82 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020539882
83 South 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020616475
84 West 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020633869
AA85 East 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020583617
AB86 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020547851
Z87 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000072737
88 East 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSA13000091440
Y89 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020541688

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
AC90 WNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020615679
Y91 East 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020585414
92 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020480877
AD93 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020646385
AB94 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020547853
AA95 East 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020594918
96 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020423032
AC97 WNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020615677
98 SSE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020404463

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
99 West 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020589211
AD100 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020583456
AE101 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020590996
AE102 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020591788
103 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020514695
104 SE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020576412
105 SW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020456759
106 WSW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020615308
107 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020633190

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
108 ESE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020601874
AF109 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020487366
110 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020423033
111 East 1/2 - 1 Mile Higher	Click here for full text details	AQUIFLOW	1383
AG112 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020556006
113 SSW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020508202
AG114 NNE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020556007
115 North 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020503706
AF116 NE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020581769

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
AH117 SSW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020525777
AH118 SSW 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020525252
119 NW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020524434
120 East 1/2 - 1 Mile Higher	Click here for full text details	FED USGS	USGS40000237794
121 ENE 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020610524
122 NNW 1/2 - 1 Mile Higher	Click here for full text details	FL WELLS	FLSO13020524437
123 NNE 1/2 - 1 Mile Lower	Click here for full text details	FL WELLS	FLSO13020497704
1G North 1/2 - 1 Mile Lower	Click here for full text details	AQUIFLOW	1390
2G NNW 1/4 - 1/2 Mile Lower	Click here for full text details	AQUIFLOW	1365

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID	Direction	Distance	Elevation	Database	EDR ID Number
3G	East	1/2 - 1 Mile	Lower	AQUIFLOW	1383
		Click here for full text details			
4G	WSW	1/4 - 1/2 Mile	Lower	AQUIFLOW	1347
		Click here for full text details			

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: FL Radon

Radon Test Results

Zip	Total Buildings	% of sites > 4 pCi/L	Data Source
33411	245	65.7	Certified Residential Database
33411	25	4.0	Mandatory Non-Residential Database
33411	23	0.0	Mandatory Residential Database

Federal EPA Radon Zone for PALM BEACH County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level \geq 2 pCi/L and \leq 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for PALM BEACH COUNTY, FL

Number of sites tested: 104

Area	Average Activity	% < 4 pCi/L	% 4-20 pCi/L	% > 20 pCi/L
Living Area	0.650 pCi/L	99%	1%	0%
Basement	Not Reported	Not Reported	Not Reported	Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005, 2010 and 2015 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory

Source: Department of Environmental Protection

Telephone: 850-245-8238

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

OTHER STATE DATABASE INFORMATION

Public Water System (PWS) Wells (Non-Federal)

Department of Environmental Protection

Telephone: 850-245-8629

Statewide coverage of PWS Wells, excluding Federally owned facilities.

Well Construction Permitting Database

Source: Northwest Florida Water Management District

Telephone: 850-539-5999

Consumptive Use Permit Well Database

Source: St. Johns River Water Management District

Telephone: 386-329-4841

DEP GWIS - Generalized Water Information System Well Data

Source: Department of Environmental Protection

Telephone: 850-245-8507

Data collected for the Watershed Monitoring Section of the Department of Environmental Protection.

DOH and DEP Historic Study of Private Wells

Source: Department of Environmental Protection

Telephone: 850-559-0901

Historic database for private supply wells.

Permitted Well Location Database

Source: South Florida Water Management District

Telephone: 561-682-6877

Super Act Program Well Data

Source: Department of Health

Telephone: 850-245-4250

This table consists of data relating to all privately and publicly owned potable wells investigated as part of the SUPER Act program. The Florida Department of Health's SUPER Act Program (per Chapter 376.3071(4)(g), Florida Statutes), was given authority to provide field and laboratory services, toxicological risk assessments, investigations of drinking water contamination complaints and education of the public.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

Water Well Location Information

Source: Suwannee River Water Management District
Telephone: 386-796-7211

Water Well Permit Database

Source: Southwest Water Management District
Telephone: 352-796-7211

Oil and Gas Permit Database

Source: Department of Environmental Protection
Telephone: 850-245-3194
Locations of all permitted wells in the state of Florida.

Florida Sinkholes

Source: Department of Environmental Protection, Geological Survey
Telephone:
The sinkhole data was gathered by the Florida Sinkhole Research Institute, University of Florida.

RADON

State Database: FL Radon

Source: Department of Health
Telephone: 850-245-4288
Zip Code Based Radon Data

Area Radon Information

Source: USGS
Telephone: 703-356-4020
The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA
Telephone: 703-356-4020
Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities
Source: Federal Aviation Administration, 800-457-6656

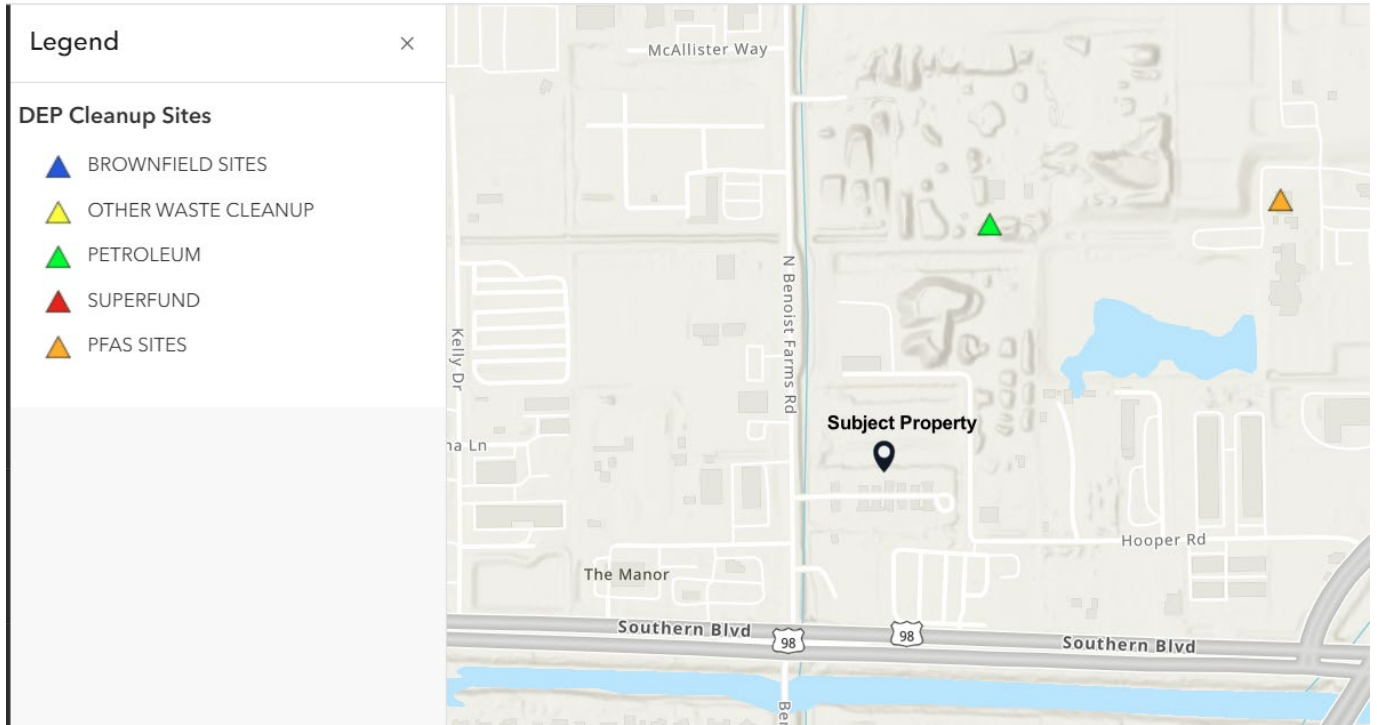
Epicenters: World earthquake epicenters, Richter 5 or greater
Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

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Contamination Locator Map



FDEP Contamination Locator Map
(source: FDEP Map Direct, 02/13/2025)

Appendix F: Environmental Lien (EL) and Activity and Use Limitation (AUL) Search

Environmental Liens and Activity and Use Limitations

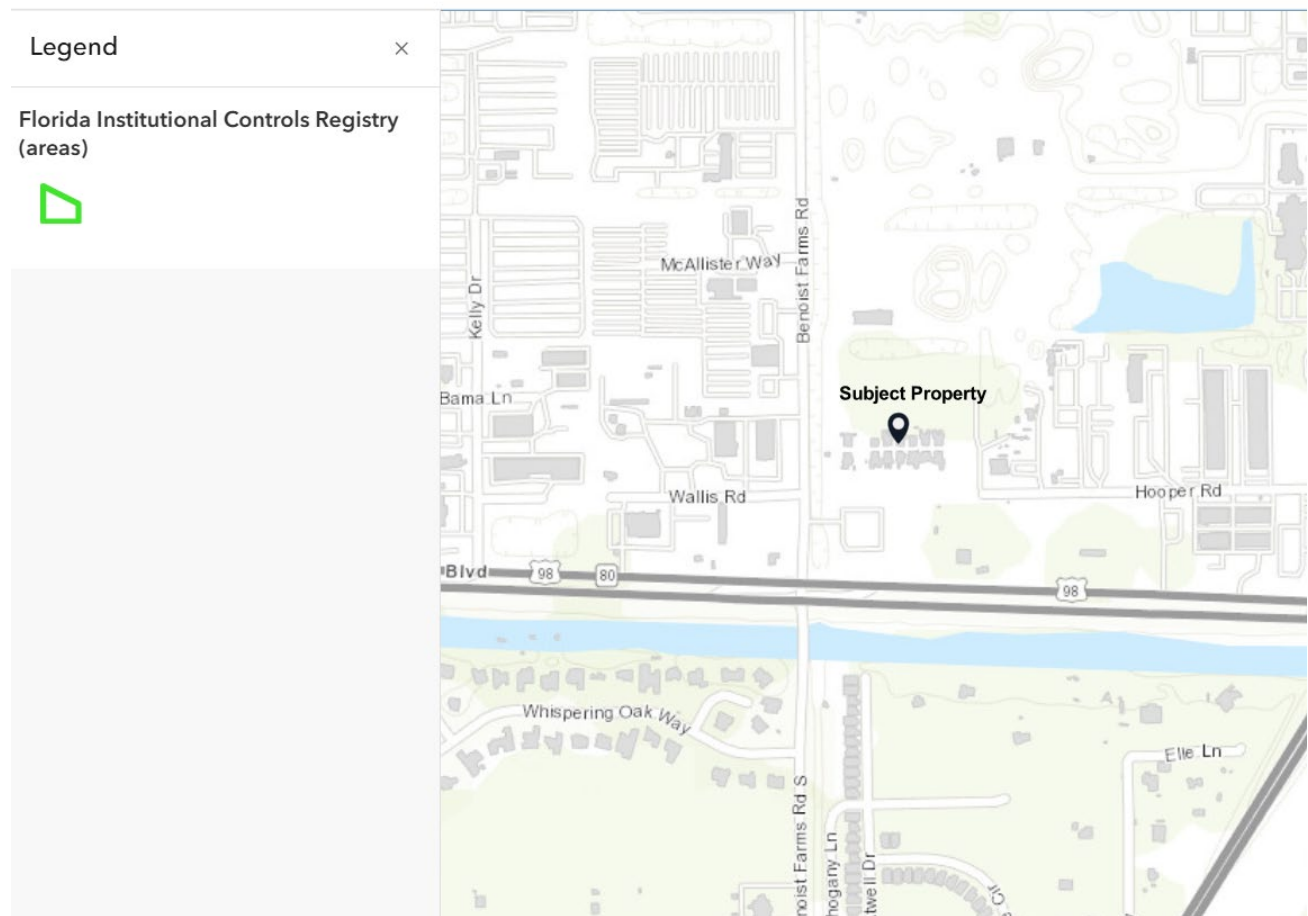
The EL and AUL search is a User responsibility per the ASTM E1527-21 standard.

WGI performed a supplementary search for ELs and AULs by reviewing institutional control registries as described in Section 4.3.

If WGI subcontracted with EDR to perform a search, that EL and AUL search report is also provided herein.

This search for ELs and AULs by the Environmental Professional is supplementary to the User's obligation to search for ELs and AULs and report any findings to the Environmental Professional.

Institutional Controls Registry (ICR) Map



Florida Institutional Controls Registry Map
(Source: FDEP Map Direct, 02/13/2025)

Environmental Feasibility Report



Health Care District Of Palm Beach County Crisis Center for Behavioral Health and Substance Abuse

Property Address: 100 N Benoist Farm Road, West Palm Beach, FL 33411

February 2025



Prepared for Saltz Michelson Architects by:

WGI, Inc.



ENVIRONMENTAL FEASIBILITY REPORT

**100 Benoist Farms Road
PALM BEACH COUNTY**

PREPARED BY:
**WGI, Inc.
2035 VISTA PARKWAY
WEST PALM BEACH, FL 33411
561-687-2220**

PREPARED FOR:
**SALTZ MICHELSON ARCHITECTS, PROFESSIONAL CORPORATION
3501 GRIFFIN ROAD
FORT LAUDERDALE, FL 33312**

FEBRUARY 2025

TABLE OF CONTENTS

Contents

INTRODUCTION.....	1
SOURCES OF INFORMATION.....	1
SITE DESCRIPTION.....	2
SOILS.....	2
EXISTING LAND USES.....	2
UPLAND COMMUNITIES.....	3
WETLANDS AND OTHER SURFACE WATERS.....	3
THREATENED AND ENDANGERED SPECIES.....	4
FINDINGS AND DISCUSSION.....	6
WETLANDS AND OTHER SURFACE WATERS.....	6
THREATENED AND ENDANGERED SPECIES.....	8
UPLANDS AND TREES.....	10
CONCLUSION.....	11

EXHIBITS

LOCATION MAP.....	Exhibit A
SOIL SURVEY MAP.....	Exhibit B
LAND USE MAP.....	Exhibit C
WETLAND MAP.....	Exhibit D

APPENDICES

APPENDIX A.....	SFWMD INSPECTION REPORT & DOCUMENTATION
APPENDIX B.....	FDEP 404 DOCUMENTATION



ENVIRONMENTAL FEASIBILITY REPORT

100 Benoist Farms Road

Palm Beach County

February 2025

INTRODUCTION

The intent of this environmental report is to provide a preliminary assessment of the natural features within the below identified property including wetlands, uplands, and the potential for threatened and endangered species.

The subject property consists of approximately 9.47 acres located at 100 N Benoist Farms Road in Unincorporated Palm Beach County (Parcel Control Number 00-42-43-27-05-006-3100). Please refer to **Exhibit A** (Location Map) for details.

SOURCES OF INFORMATION

Literature reviews, agency database searches and coordination, and a field review were conducted to document existing habitat types within and around the property. The information collected and databases reviewed included:

- U.S. Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Soil Map
- USDA NRCS Soil Survey of Palm Beach County, Florida, 1978;
- Florida Association of Professional Soil Classifiers, Hydric Soils of Florida Handbook, 4th ed. (Hurt et. al. 2007)
- U.S. Fish and Wildlife Service (USFWS), Classification of Wetlands and Deepwater Habitats of the United States (Cowardin et. al. 1979; 2013)
- Florida Natural Areas Inventory (FNAI) Biodiversity Matrix (Matrix Unit ID 68243, 68395)
- USFWS Information for Planning and Consultation (IPaC) Tool
- National Wetland Inventory Maps
- Various Florida Fish and Wildlife Conservation Commission (FWC) GIS data layers
- USFWS, South Florida Ecological Services Office Wood Stork Florida Nesting Colonies Maps
- USFWS Critical habitat for threatened and endangered species mapper
- USFWS IPac Planning Tool
- Florida Department of Transportation (FDOT) Florida Land Use, Cover and Forms Classifications System (FLUCFCS), 3rd ed., January 1999
- Palm Beach County Code of Ordinances and Land Development Code
- Palm Beach County Property Appraiser's Website
- South Florida Water Management District ePermitting Website
- Florida Department of Environmental Protection (FDEP) Oculus Database

SITE DESCRIPTION

Prior to the field review, the approximate boundaries of uplands and wetlands within the subject property were mapped on true color aerial photographs. Each community type was classified using FLUCFCS/FLUCCS (FDOT 1999).

WGI scientists familiar with Florida natural communities conducted a field review of the subject property on February 10, 2025. During this review, each vegetative community type was walked and visually inspected to verify community boundaries, dominant vegetation, and the presence or potential for occurrence of threatened and endangered species.

SOILS

Based upon the USDA NRCS Soil Survey for Palm Beach County, Florida, two soil types are mapped within the property. A soil map is included as **Exhibit B**. Listed below are each of the soil types found within the property and a general description of the characteristics of each soil type.

(4) Arents- Urban land complex, 0 to 5 percent slopes – This nearly level, somewhat poorly drained, sandy soils and urban land. The soils formed in thick layers of sandy fill material that were place over low, wet mineral soils to make the areas suitable for urban use. This complex is in the eastern part of the survey area and takes in golf courses, subdivisions, condominium developments, roadways, business or industrial areas, reclaimed borrow pits, and other areas filed over but not yet developed. This complex is about 60 to 75 percent Arents and 25 to 40 percent Urban land. No one pedon represents this mapping unit, but the surface layer of one of the more common ones is dark gray and dark grayish brown sand, mixed with other shades of gray and brown, about 4 inches thick. Below this there is a layer of mottled brown sand about 20 inches thick. It has common weakly cemented fragments of strong brown, black, or dark reddish-brown sand. Between depths of 24 and 60 inches are layers of light gray and dark gray sand that have a few thin lenses and mottles in shades of gray and brown. This soil is listed as hydric by the *Hydric Soils of Florida Handbook*.

(36) Riviera fine sand, 0 to 2 percent slopes - This nearly level, poorly drained soil that has a thick sandy subsurface layer that tongues into a loamy subsoil at a depth of 20 to 40 inches. This soil is in broad, low areas. In a representative pedon the surface layer is dark grayish brown sand about 6 inches thick. Below this is a subsurface layer of white sand about 22 inches thick that tongues into a grayish brown sandy loam subsoil to a depth of about 36 inches. Gray sand and shell fragments are below a depth of about 42 inches. Under natural conditions, the water table is within 10 inches of the surface for 2 to 4 months in most years and within 10 to 30 inches for most of the remaining year. This soil is listed as hydric by the *Hydric Soils of Florida Handbook*.

EXISTING LAND USES

Descriptions of the land use/cover types and the soil types that comprise the subject property are provided below. Existing land uses and natural habitats within the subject property were classified using the FLUCFCS (1999). Based on in-house and field review, four land use/cover types were determined to be present within the subject property. A map depicting the existing land use/cover types encountered within the subject property is provided as **Exhibit C** (Existing Land Use Map) and general descriptions of the land use/cover types are provided below.

UPLAND COMMUNITIES

The upland portion of the subject property is comprised of dog kennel buildings with an associated guardhouse and separate dog run. The vegetated upland areas are dominated by Australian pine.

140 – Commercial and Services (7.18 acres)

The commercial and services land use code consists of the dog kennels, the dog run, guardhouse, and associated paved and unpaved roads. Some strangler figs were observed within these areas.

437 – Australian Pine (0.63 acres)

The undeveloped upland areas are dominated by Australian pine.

WGI scientists identified the following vegetation within the upland community type listed above. The following is a list of those species observed.

<u>Common Name</u>	<u>Scientific Name</u>	<u>Designation</u>
Sabal Palm	<i>Sabal palmetto</i>	Native
Royal Palm	<i>Roystonea regia</i>	Native
Strangler Fig	<i>Ficus aurea</i>	Native
Australian Pine	<i>Casuarina equisetifolia</i>	Non-native
Brazilian Pepper	<i>Schinus terebinthifolia</i>	Non-native
Earleaf acacia	<i>Acacia auriculiformis</i>	Non-native

WETLANDS AND OTHER SURFACE WATERS

WGI scientists familiar with Florida wetland communities conducted a field review of the subject property. The purpose of the field review was to delineate the limits of, and gather pertinent information about, any wetlands that may exist onsite. It is WGI's opinion that there are wetlands located on the property.

Delineation of wetlands regulated by South Florida Water Management District (SFWMD) is done according to Chapter 62-340 Florida Administrative Code (F.A.C.), Delineation of the Landward Extent of Wetlands and Surface Waters. The *Florida Wetlands Delineation Manual* (Gilbert et al., 1995) serves as a guide to Chapter 62-340. The United States Army Corps of Engineers (USACE) will delineate federal jurisdictional wetlands according to 40 CFR Part 120, the Waters of the United States (WOTUS) rule. The USACE 1987 Wetland Delineation Manual serves as a guide to 40 CFR Part 120. In this evaluation, WGI used the intent and methodology of the manual to form the opinion that wetlands and surface waters are located within the boundaries of the subject property. The wetland communities listed below were observed within the subject property.

641 – Freshwater Marsh (0.60 acres)

This area refers to the wetland located just north of the kennels, centrally located within the subject property. It was likely excavated as a wet detention area.

WGI scientists identified the following vegetation within the wetland community type listed above. The following is a list of those species observed.

<u>Common Name</u>	<u>Scientific Name</u>	<u>Designation</u>
Wedelia	<i>Sphagneticola trilobata</i>	Non-native
Leather Fern	<i>Acrostichum danaeifolium</i>	Native
Napier Grass	<i>Cenchrus purpureus</i>	Non-native
Brazilian Pepper	<i>Schinus terebinthofolia</i>	Non-native
Duck potato	<i>Sagittaria lancifolia</i>	Native

534 – Reservoirs less than 10 acres (1.06 acres)

It is WGI’s opinion that there are approximately 1.06 acres of other surface waters located on the subject property. This consists of a man-made ditch that borders the subject property along the southern, eastern, and northern boundaries.

THREATENED AND ENDANGERED SPECIES

In order to determine federal and state listed protected plant and animal species that have the potential to occur within the property, available site-specific data was collected and evaluated, and a field review of the subject property was conducted on February 10, 2025. The purpose of the field review was to identify any listed species present within the subject property, to assess the potential for the occurrence of protected species within the subject property, and to identify any critical habitat that might be located within or adjacent to the subject property. During the field review, the property was canvassed for direct observations of listed species or signs of their presence, including trails, tracks, scats, nests (cavity or stick), burrows, or calls.

The Florida Natural Areas Inventory (FNAI) biodiversity matrix identifies federal or state-listed plant and animal species as occurring or having the potential to occur within the subject property. The potential of occurrence for each species was ranked as Low, Moderate, or High based on the habitat requirements for each species, the presence of habitat within the property and documented occurrences of the species within one mile of the property.

- A Low ranking indicates that preferred habitat for that species was found within the project area, but the species has not been documented within one mile of the project area.
- A Moderate ranking indicates that suitable habitat exists, and the species has been documented within one mile of the project area.
- A High ranking indicates that suitable habitat exists, and the species was observed during field reviews.

The following table lists the protected species, their federal or state protection status, preferred habitat, and a ranking of potential for occurrence within the property based on the results of the FNAI biodiversity matrix and USFWS IPac searches and the field review.

Species	Designated Status			Habitat Preference	Potential for Occurrence Onsite
	USFWS	FWC	DOACS		
FAUNA					
REPTILIAN / AMPHIBIAN					
Eastern indigo snake (<i>Drymarchon corais couperi</i>)	T			Pine and scrubby flatwoods, high pine, dry prairie, edges of freshwater marshes, agricultural fields, coastal dunes, and human altered habitats	Low
Gopher tortoise (<i>Gopherus polyphemus</i>)		T		Upland habitats with relatively well- drained, sandy soils. Usually inhabits longleaf pine and xeric oak sandhills, scrub, xeric hammock, pine flatwoods, dry prairie, coastal grasslands and dunes, mixed hardwood-pine communities, and a variety of disturbed habitats.	Low
Gopher Frog (<i>Lithobates capito</i>)		SSC		Inhabits longleaf pine, xeric oak, and sandhills. Inhabits gopher tortoise burrows.	Low
AVIAN					
Crested Caracara (<i>Caracara cheriway</i>)	T			Inhabits wet prairies with cabbage palms. It may also be found in wooded areas with saw palmetto, cypress, scrub oaks and pastures.	Low
Snail kite (<i>Rostrhamus sociabilis</i>)	E			Inhabits shallow freshwater marshes and shallow grassy shorelines of lakes.	Low
Red-cockaded woodpecker (<i>Picoides borealis</i>)	E			Suitable nesting habitat includes pine stands or pine-dominated pine/hardwood stands with a sparse understory and ample old-growth pines.	Low
Wood stork (<i>Mycteria americana</i>)	T			Fresh and saltwater marshes, tidal flats, wet prairies, forested wetlands, flooded pastures, and ditches.	Moderate
Bald eagle (<i>Haliaeetus leucocephalus</i>)	N/A	N/A	N/A	Nesting and roosting habitat consists of forested habitats with mature canopy trees. Preferred foraging habitat consists of expanses of shallow fresh or salt water that includes a diversity and abundance of prey and access to shallow water and tall trees/structures for perching.	Low
MAMMALS					
Florida panther (<i>Puma concolor coryi</i>)	E			Habitat selection is related to prey availability and suitable habitat includes dense understory vegetation for stalking/feeding, resting, and denning. Preferred habitat is typically forested habitat types interspersed with other habitat types. The species requires large, contiguous areas.	Habitat not found on site

Legend:

USFWS = United States Fish and Wildlife Service

FWC = Florida Fish and Wildlife Conservation Commission DOACS = Florida Department of Agriculture & Consumer Services E = Endangered

T = Threatened

SSC = Species of Special Concern

(S/A) = Threatened/Similarity of Appearance

N/A = Not Applicable

Low = Suitable habitat found within the project area, but no documented element occurrence of the species within one (1) mile of the project area and no observations were made during field reviews.

Moderate = Suitable habitat exists and the species has been documented within one (1) mile of the project area, but no observations were made during field reviews.

High = Suitable habitat exists and species was observed within the project area during field reviews.

FINDINGS AND DISCUSSION

Based on the above findings, there are natural features present on the subject property that are regulated by federal, state, and local agencies and permits will be required as part of the entitlement process. The following is a summary of the environmental permitting efforts required for each component of this subject property.

WETLANDS AND OTHER SURFACE WATERS

It is WGI's opinion that there are approximately 0.60 acres of herbaceous wetlands present on the subject property and approximately 1.06 acres of other surface waters. WGI's opinion is based on preliminary reconnaissance only; WGI has not conducted official wetland delineation services for this site. Furthermore, wetland boundaries can only be verified by state and/or federal regulatory agency involvement. It is possible for the regulatory agencies to deem the other surface waters to be classified as wetlands, potentially making the total acreage of wetlands onsite approximately 1.2 acres.

Wetlands are protected by both state and federal regulations. While the regulations are similar to each other, they are separate reviews that require separate authorizations.

State Wetland Regulation

Impacts to the onsite wetlands and/or other surface waters will require an Environmental Resource Permit (ERP) from South Florida Water Management District (SFWMD). The ERP is the same permit that will authorize the stormwater management/drainage system on the proposed site. As part of this review, the impacts to wetlands will be reviewed and will require compensatory mitigation. Mitigation can be provided via the purchase of mitigation credits at an approved mitigation bank, the creation and/or restoration of wetlands on or off of the property, or some combination thereof. Areas marked as surface waters require review for impacts but do not require compensatory mitigation. The civil engineer of record will need to accommodate the stormwater storage volume that the existing surface waters are providing within the overall stormwater management design but the actual surface waters can be altered or filled if required.

Through review of the permitting history, there are two documented SFWMD compliance enforcement cases on the subject property (SFWMD COST CODES: 11431 and 23427).

SFWMD inspected the subject property on November 30, 2021 in response to a complaint of unauthorized fill onsite (COST CODE 11431). During the site visit, the District documented illegal fill (downed trees, roof tiles, broken concrete, soil) present in wetlands and/or other surface waters onsite. WGI staff were present for this inspection. SFWMD staff identified the central area as a regulated wetland and the perimeter ditch as a surface water. The inspection report identifies an area of approximately 0.24 acres that was filled without permit authorization. The second compliance case (COST CODE 23427) identified a new owner of the property and that an unauthorized truck parking facility was being operated on the property. The SFWMD consent orders and inspection reports are provided in **Appendix A**. The consent order requires the unauthorized fill to be removed

from the pre-existing wetland areas. Due to the unknown origins of the fill material originally used, it is WGI's opinion that rather than amending the current consent order to allow the unauthorized fill to remain and just receive an after-the-fact ERP along with paying associated wetland mitigation, it would be better to have the unauthorized fill removed entirely and then pursue an ERP and pay wetland mitigation. If the unauthorized fill is allowed to remain onsite, it may end up having to be removed anyway in order to have a suitable substrate for construction.

As described above, the impacts to wetlands (both past unauthorized filling and any proposed filling) will require compensatory mitigation. The required amount of mitigation is determined by the acreage of impacts multiplied by a percent score of the quality of the wetland. In this case, if all identified wetlands were proposed to be impacted (0.60 acres) plus the area that was filled without authorization (0.24 acres), it would be a total of 0.84 acres. A conservative estimate of the quality score for the wetland is 50%. The total amount of mitigation credits required would be 0.42 credits (0.84 acres x 50%). The only approved mitigation bank with credits available for this area is the Bluefield Ranch Mitigation Bank (BRMB). This bank currently sells mitigation credits at \$300,000. The cost to purchase compensatory mitigation through BRMB would be approximately \$126,000. Please note that the SFWMD will review the quality score and will have final determination on the scoring.

Alternatively, onsite mitigation can be provided to offset the impacts to the wetland. Onsite mitigation is based on the quality scoring of a restored or created wetland to generate credits that would offset the 0.42 credits required. The amount of acreage of created or restored wetland will not be an acre for acre offset and often larger than the existing wetland acreage. In addition, any created or restored wetland used for mitigation will require a 25' wide buffer around it, a conservation easement, five years of monitoring, and perpetual maintenance. For smaller sites like the subject property, particularly because of the surrounding industrial nature, WGI does not recommend onsite mitigation as the required restoration work and encumbrances on the property will likely exceed the estimated \$126,000 in mitigation credit purchase described above. In addition, permit review will take longer as the mitigation plan will also need to be reviewed.

Federal Wetland Regulation

The US Army Corps of Engineers (USACE) implements the federal wetland permitting program under Section 404 of the Clean Water Act. These regulations are reviewed separately from the state regulations described above. The federal wetland program has been through significant changes in the past few years that have affected the previous review of this site. First, from December 2020 until February 2024, the state of Florida was delegated the Section 404 permitting program and the Florida Department of Environmental Protection (FDEP) implemented the state's federal wetland permitting program called the State 404 program. In February 2024, the State 404 program was vacated as a result of a court decision which reverted responsibility for the federal wetlands permitting program back to the USACE where it currently remains.

The unauthorized filling of wetlands and/or other surface waters on the subject property was reported to the Florida Department of Environmental Protection (FDEP) State 404 Program by SFWMD during their compliance review described above. FDEP staff conducted an inspection of the subject property on February 15, 2022. FDEP documented that there were no federally jurisdictional wetlands on the subject property in the report so the unauthorized fill was not regulated under the State 404 Program. FDEP documentation is provided in **Appendix B**.

While the FDEP report concludes that there are no federally jurisdictional wetlands on the property, it is imperative to note that this was determined by the FDEP during the State 404 permit program and was not reviewed by the USACE. The USACE does not automatically accept jurisdictional determinations that the FDEP reviewed so the finding of no federally jurisdictional wetlands by the FDEP is no longer applicable.

Under the current definition of a federally jurisdictional wetland with guidance issued by the USACE on March 12, 2025, any wetlands or surface waters on the property are likely not federally jurisdictional. The recent guidance instructs reviewers that wetlands separated from other jurisdictional waters solely by “discrete features” (culverts, swales, pipes, etc.) are no longer considered to be connected and are no longer jurisdictional. The identified wetland area and the perimeter swale are only connected to the offsite drainage canal via culverts. According to the guidance, neither of these waters will be considered jurisdictional and no federal wetland permit will be required. While not required, an approved jurisdictional determination (AJD) can be requested from the USACE to verify this opinion. The AJD review can take up to 6 months to complete. In this instance, when considering the time constraints, WGI does not believe it is necessary to request the AJD as there is high confidence that the onsite wetlands are not jurisdictional.

While WGI has provided reasonable estimates; ultimately, the regulatory agencies have final approval of the jurisdiction, quality, and amount of mitigation required for wetlands on the subject property and therefore the estimates provided in this report may not match the final requirements.

THREATENED AND ENDANGERED SPECIES

Listed species are afforded special protective status by federal and state agencies. This special protection is federally administered by the United States Department of the Interior, USFWS pursuant to the Endangered Species act of 1973 (as amended). The USFWS administers the federal list of animal species (50 CFR 17.11) and plant species (50 CFR 17.12).

The State of Florida affords special protection to animal species designated as State designated threatened or species of special concern, pursuant to Chapter 68A-27, F.A.C., which is administered by the FWC. In November 2010, a revision to the FWC threatened species rules changed the designation of federal listed species that occur in Florida to federally designated endangered or federally designated threatened species. Those species that are only state listed are now designated as State threatened or State species of special concern.

The State of Florida also protects and regulates plant species designated as endangered, threatened or commercially exploited as identified on the Regulated Plant Index (5B- 40.0055, F.A.C.), which is administered by the Florida Department of Agriculture and Consumer Services (FDACS), Division of Plant Industry, pursuant to Chapter 5B-40, F.A.C.

BIRDS

Crested caracara (*Polyborus plancus audubonii*)

The subject property is located within the USFWS Consultation Area for the federally threatened crested caracara (*Caracara cheriway*), which is also protected under the federal MBTA. The crested caracara’s habitat includes wet prairies, wooded areas with saw palmetto, cypress, scrub oaks, and pastures. This habitat is not present on the site and therefore it is unlikely that caracara is present. If required, caracara surveys must be

conducted no later than January 10th through April 30th to provide adequate data to conclude if the site contains an active caracara nest and/or foraging habitat.

Snail Kite (*Rostrhamus sociabilis*)

Snail kites prefer to inhabit shallow freshwater marshes and shallow grassy shorelines of lakes without mature canopy coverage. It is WGI's opinion that suitable habitat for the snail kite is not present on the subject property. No observations of nests or physical observations of the species were made during site reconnaissance.

Red-Cockaded Woodpecker (*Picoides borealis*)

The subject property is located just outside of the USFWS Consultation Area for the red-cockaded woodpecker (*Picoides borealis*). Suitable nesting habitat consists of pine stands or pine dominated pine and hardwood stands with a sparse understory and plenty of old-growth pine specimens. It is WGI's opinion that suitable habitat for the red-cockaded woodpecker is not present on the subject property. No direct observations were made during field review.

Wood Stork (*Mycteria americana*)

The USFWS wood stork colony website was searched for active wood stork colonies located within 18.6 miles of the project limits. According to the USFWS wood stork colony website, the project limits are located within the 18.6-mile Core Foraging Area (CFA) of two active wood stork nesting colonies, however the project limits are not located within 0.47 miles of any active colonies.

Surface waters and wetlands with a seasonal high-water depth between 2 inches and 15 inches with 25 percent aquatic vegetation coverage or less are considered Suitable Foraging Habitat (SFH) for the wood stork. According to the USFWS's Wood Stork Effect Determination Key, any proposed project on the subject property would key out to "Not Likely to Adversely Affect" following the path of $A \rightarrow B \rightarrow C \rightarrow D \rightarrow E \rightarrow NLAA$. This determination is based on the assumption that avoidance and minimization measures and compensation of SFH would be implemented. Compensation of SFH can be achieved through the creation of onsite SFH or through the purchase of wetland mitigation credits.

Bald Eagle (*Haliaeetus leucocephalus*)

A federal permit is encouraged for activities occurring within 660 feet of an active bald eagle nest during the breeding season to avoid a violation of the federal Eagle Rule. The Audubon Florida EagleWatch Nest Map was searched for bald eagle nests within one mile of the subject property. According to the Audubon GIS map, the project area does not fall within the 660-foot buffer of any active bald eagle nests.

MAMMALS

Florida panther (*Puma concolor coryi*)

The subject property is not located within the USFWS Panther Focus Area or Consultation Area for the Florida panther, and the species does not appear in the FNAI report for the project limits, however, does appear in the IPaC report. Florida panther habitat selection is related to prey availability and suitable habitat includes dense understory vegetation for stalking/feeding, resting, and denning. Preferred habitat requires extensive spans of mostly forested habitat communities. Large wetlands that are generally inaccessible to humans are important for diurnal refuge. The species will tolerate improved areas in a mosaic of natural communities. The species requires large, contiguous undisturbed areas. Highly urbanized areas are not found in the panther core habitat

area. The subject property does not provide suitable habitat for the Florida panther. According to the 2007 Florida Panther Effect Determination Key, a proposed project on the subject property would most likely follow a path of $A \rightarrow B \rightarrow \text{No Effect}$.

REPTILES

Eastern indigo snake (*Drymarchon corais couperi*)

Eastern indigo snake (EIS) habitat consists of pine and scrubby flatwoods, high pine, dry prairie, edges of freshwater marshes, agricultural fields, coastal dunes, and human altered habitats. Based on August 1, 2017 guidance from the USFWS regarding consultation measures for the EIS, it is anticipated that the subject property would “key out” for a determination of “Not Likely to Adversely Affect” to EIS habitat because the subject property is less than 25 acres and the USFWS *Standard Protection Measures for the Eastern Indigo Snake* (2024) would be used during construction.

Gopher tortoise (*Gopherus polyphemus*)

Suitable habitat for the gopher tortoise consists of upland habitats with relatively well-drained, sandy soils. The species usually inhabits longleaf pine and xeric oak sandhills, scrub, xeric hammock, pine flatwoods, dry prairie, coastal grasslands and dunes, mixed hardwood-pine communities, and a variety of disturbed habitats. Suitable habitat for the gopher tortoise is not present on the subject property and evidence of the species or their burrows was not observed during field reconnaissance.

UPLANDS AND TREES

Palm Beach County will require a Vegetation Removal Permit prior to land development and the removal of any protected trees or palms. Palm Beach County Environmental Resources Management (ERM) will require the preservation of trees and palms where possible and can require changes to the site plan to achieve the preservation of specimen trees and other healthy native trees and palms. ERM will require the relocation of native trees and palms that cannot be preserved in place unless such trees are deemed unfit for relocation by an experienced professional (Certified Arborist or Licensed Landscape Architect). Native palms will be expected to be relocated from development areas into open spaces onsite. Trees and palms that cannot be relocated and must be removed will require mitigation. This is achieved via the planting of replacement trees and palms onsite into landscape buffers or open space (not within private residential lots) or purchasing a buyout.

ERM may also require a “tree preservation area” for areas on the subject property where there is a cluster of native trees. A tree preservation area management plan will need to be prepared if ERM requires this type of set-aside area. This determination will be made during preliminary site plan review.

ERM requires an arborist report to be prepared to document each specimen tree onsite to determine if preservation, relocation, or removal are acceptable. The relocation charges for large trees can be cost prohibitive. The relocation of large trees can cost up to \$1,000.00 per diameter-at-breast-height (DBH) inch, making the relocation cost of a 20-inch strangler fig approximately \$20,000.00 for instance.

WGI observed approximately 10 strangler figs as well as many sabal palms onsite that are protected by the County. ERM will require the relocation of sabal palms onsite. ERM will prioritize the preservation or relocation of the strangler figs; however, if sufficient justification exists, they can be removed and replacement trees can be provided.

The current ERM buyout price for sabal palms is \$320.00 per palm and sabal palms are replaced on a 1:1 ratio. The current ERM buyout price for strangler figs is estimated to be \$337.00 per tree. Trees are not replaced on a per tree ratio, rather the calculation of required replacement trees is based on the size of the tree to be removed. These are the 2024 ERM Tree Replacement prices, 2025 ERM Tree Replacement pricing has yet to be released.

Based on observations made during field reconnaissance, WGI estimates that a 100% buyout for the subject property could be in the range of \$20,000.00 to \$28,000.00 at the 2024 ERM Tree Replacement costs. A tree inventory will need to be completed to more accurately determine the actual total number of protected trees and palms onsite as well as their respective sizes to determine buyout costs. ERM governs the final determinations regarding relocation and mitigation requirements.

CONCLUSION

- Uplands and Trees: Based on observations made during field reconnaissance, WGI estimates that a 100% buyout for the subject property could be in the range of \$20,000.00 to \$28,000.00 at the 2024 ERM Tree Replacement costs. A tree inventory and arborist report will need to be completed for County site plan approval and to determine the actual required mitigation amount (replacement trees, buyout, or combination thereof). There are several sabal palms and strangler figs onsite and ERM will require the preservation or relocation of these trees and palms or sufficient justification for their removal. The relocation of large trees can cost up to \$1,000.00 per DBH inch (~ \$20,000.00 for a 20-inch DBH tree). ERM may require site plan changes to accommodate the preservation of a specimen tree or justification why site plan changes cannot be made and the tree must be removed.
- Wetlands and Other Surface Waters: It is WGI's opinion that 0.60 acres of herbaceous wetlands and 1.06 of other surface waters are present on the subject property.
 - o State Regulations: The wetland and surface waters are jurisdictional and will be reviewed by the SFWMD as part of the Environmental Resources Permit (ERP) which is required for both wetland impacts and for stormwater management and drainage design. This permit typically takes 8 to 9 months to complete. The surface waters can be impacted with no mitigation required as long as the stormwater system accommodates any drainage that the surface waters were previously providing. Impacts to the wetland will require mitigation; either through the purchase of approximately 0.42 mitigation credits at \$126,000, or through the creation or restoration of wetlands onsite, or a combination of the two. Due to additional costs and requirements associated with onsite mitigation, it is WGI's opinion that the most efficient and lowest cost approach to mitigation would be to purchase mitigation credits from the Bluefield Ranch Mitigation Bank.
 - o SFWMD Consent Orders: The second consent order (COST CODE 23427) incorporates the first consent order as the previous order was not fulfilled. The second consent order requires the removal of all unauthorized fill from the wetlands and a return of the elevations to the pre-existing grades. Due to the unknown origin of the fill and the observed poor quality (roofing tiles, vegetative debris, etc.), it is unlikely that the unauthorized fill is suitable for construction which means it would be required to be removed regardless of the consent order for development. It is WGI's opinion, that the second consent order should not be amended and that the current

owner should remove the unauthorized fill prior to the Palm Beach County Health District taking ownership. Once the unauthorized fill is removed, the ERP application will be submitted to SFWMD and wetland mitigation will be paid for any impacts to the wetland. Wetland mitigation would have been required even if the unauthorized fill was allowed to remain in place.

- Federal Regulations: It is WGI's opinion that the wetland and surface waters on the property are not federally jurisdictional as they are artificially created in uplands and are separated from offsite jurisdictional waters by culverts. As a result, no interaction with the federal regulatory agency, USACE, is required. If time allows, it is recommended that an Approved Jurisdictional Determination (AJD) be requested from the USACE to confirm WGI's opinion but it is not required. An AJD can take 6 months to complete.

- Listed Species: There are areas on the subject property that are considered Suitable Foraging Habitat (SFH) for the wood stork. According to the USFWS's Wood Stork Effect Determination Key, any proposed project on the subject property would key out to "Not Likely to Adversely Affect" following the path of $A \rightarrow B \rightarrow C \rightarrow D \rightarrow E \rightarrow NLAA$. This determination is based on the assumption that avoidance and minimization measures and compensation of SFH would be implemented. Compensation of SFH can be achieved through the creation of onsite SFH (i.e. littoral zones on stormwater ponds) or through the purchase of wetland mitigation credits.



SOURCE: GOOGLE EARTH PRO

PROJECT NAME: 100 BENOIST FARMS RD
PROJECT #: 11146.01
DATE: 02/17/2025
CREATED BY: CNC
CHECKED BY: RMH

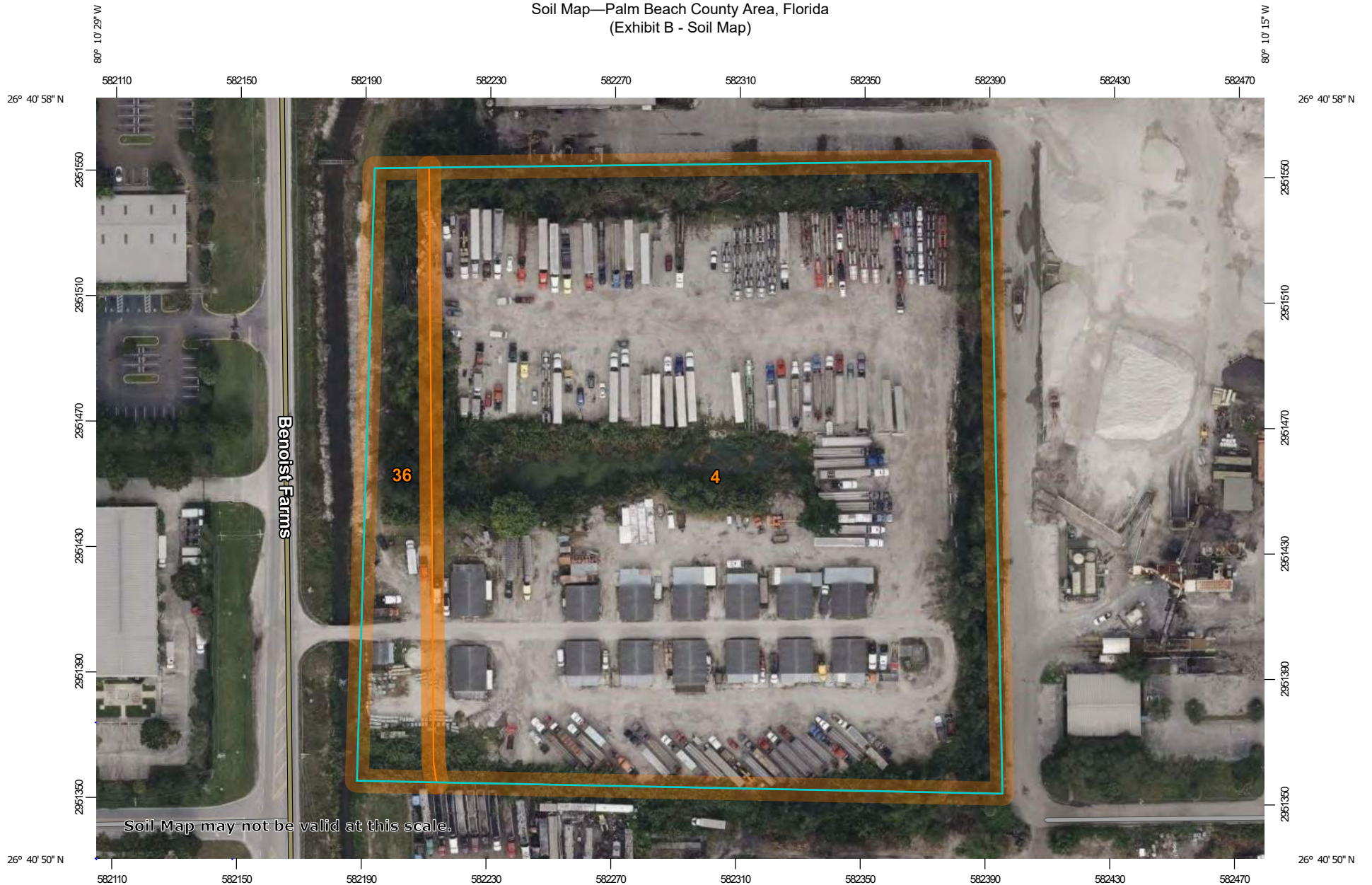
LOCATION MAP EXHIBIT A



PHONE NO. 561.687.2220
CERT NO. 33574
LB NO. 7055

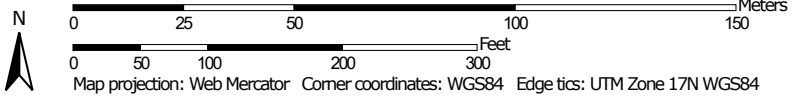
2035 VISTA PARKWAY
WEST PALM BEACH, FL 33411

Soil Map—Palm Beach County Area, Florida
(Exhibit B - Soil Map)



Soil Map may not be valid at this scale.

Map Scale: 1:1,710 if printed on A landscape (11" x 8.5") sheet.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Palm Beach County Area, Florida

Survey Area Data: Version 21, Aug 22, 2024

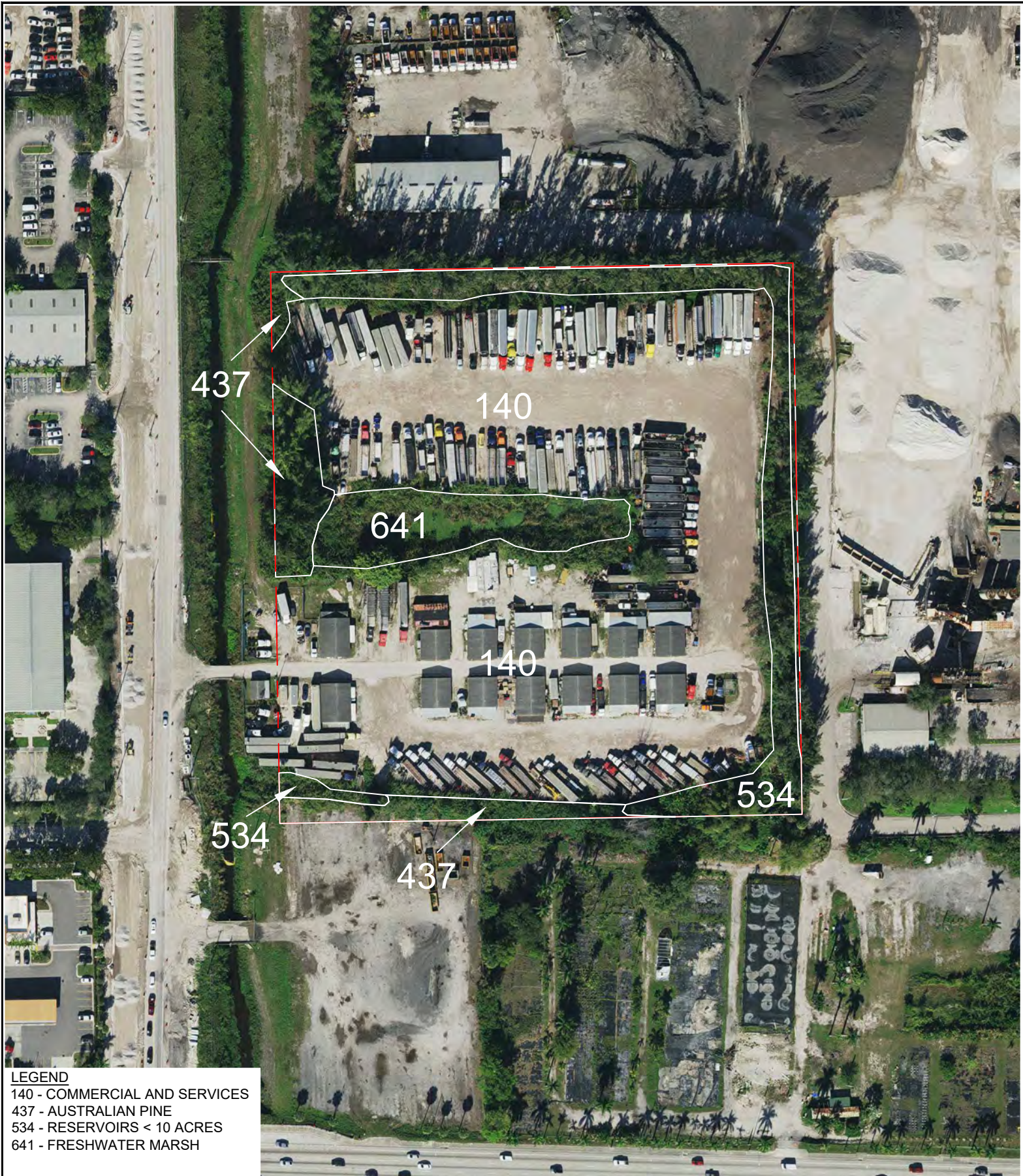
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 10, 2022—May 1, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

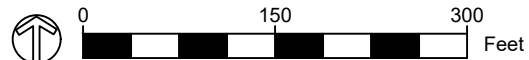
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
4	Arents-Urban land complex, 0 to 5 percent slopes	8.9	89.7%
36	Riviera fine sand, 0 to 2 percent slopes	1.0	10.3%
Totals for Area of Interest		10.0	100.0%



LEGEND
 140 - COMMERCIAL AND SERVICES
 437 - AUSTRALIAN PINE
 534 - RESERVOIRS < 10 ACRES
 641 - FRESHWATER MARSH

SOURCE: FDOT AERIALS GIS



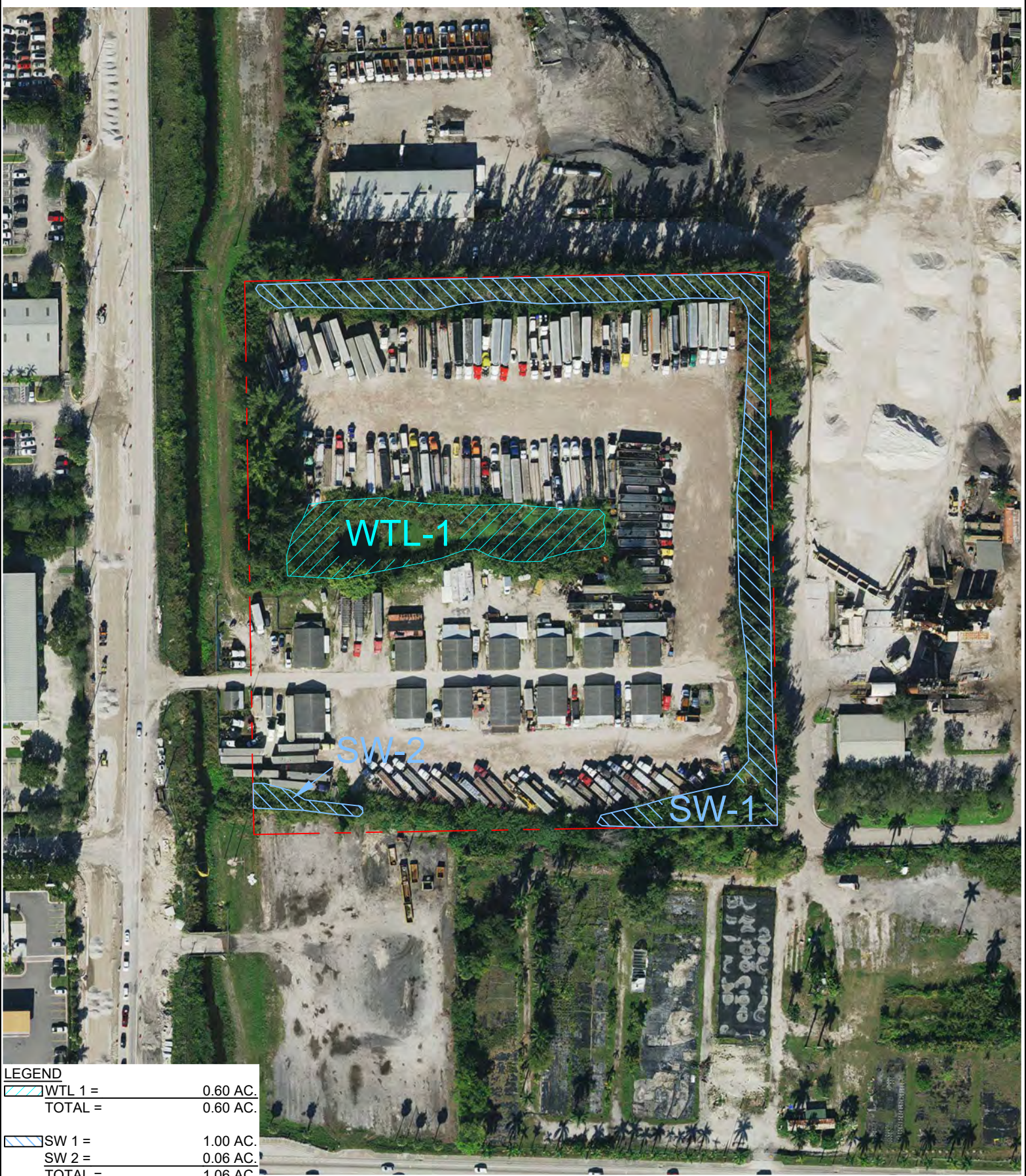
PROJECT NAME: 100 BENOIST FARMS RD
 PROJECT #: 11146.01
 DATE: 02/17/2025
 CREATED BY: CNC
 CHECKED BY: RMH



LAND USE MAP EXHIBIT C



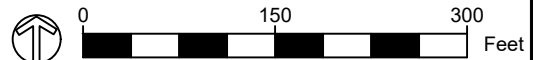
PHONE NO. 561.687.2220
 CERT NO. 33574
 LB NO. 7055

2035 VISTA PARKWAY
 WEST PALM BEACH, FL 33411



LEGEND	
	WTL 1 = 0.60 AC.
TOTAL =	0.60 AC.
	SW 1 = 1.00 AC.
SW 2 =	0.06 AC.
TOTAL =	1.06 AC.

SOURCE: FDOT AERIALS GIS



PROJECT NAME: 100 BENOIST FARMS RD
 PROJECT #: 11146.01
 DATE: 02/17/2025
 CREATED BY: CNC
 CHECKED BY: RMH

WETLAND BOUNDARY MAP EXHIBIT D



PHONE NO. 561.687.2220
 CERT NO. 33574
 LB NO. 7055

2035 VISTA PARKWAY
WEST PALM BEACH, FL 33411

APPENDIX A

**BEFORE THE GOVERNING BOARD OF THE
SOUTH FLORIDA WATER MANAGEMENT DISTRICT**

SOUTH FLORIDA WATER
MANAGEMENT DISTRICT,

Complainant,

v.

SFWMD No. 2025-____-CO-ERP

OSI 100 Benoist Farms
Road, LLC,

Respondent.

_____ /

CONSENT ORDER

This Consent Order is entered into between Complainant, South Florida Water Management District (“District”), and Respondent, OSI 100 Benoist Farms Road, LLC (“Respondent”), by mutual consent, who agree as follows:

FINDINGS OF FACT

1. The District, a government entity created under Chapter 373, Florida Statutes, is a multipurpose water management district with its principal office located at 3301 Gun Club Road, West Palm Beach, Florida 33406.

2. Respondent is a person within the meaning of Section 373.019(15), Florida Statutes. Respondent’s mailing address is 800 Brickell Ave, Suite 904, Miami, Florida 33131.

3. The following exhibits are attached and incorporated into this Consent Order:

Exhibit A – Location Map and Legal Description;

Exhibit B – Consent Order No. 2021-038-CO-ERP;

Exhibit C – Notice of Violation;

Exhibit D – Regrading Plans;

Exhibit E – Notice of Rights; and

Exhibit F – Notice of Consent Order.

4. Respondent owns property with Parcel Identification Number 00424327050063100; located in Section 32, Township 43, Range 42; Palm Beach County, Florida (“Property”). The Property and its legal description are depicted in Exhibit A.

5. The District has jurisdiction over the Respondent, the Property, any stormwater management system, wetlands, wetland impacts, all works, and maintenance activities conducted on the Property, as provided in Chapter 373, Florida Statutes.

6. On March 30, 2021, District staff inspected the Property after receiving a public inquiry, and discovered unauthorized filling and grading. Specifically, District staff noted approximately two feet of roof tiles and fill dirt on the Property, and no best management practices being implemented to contain any potential offsite discharges of turbid surface water runoff.

7. On May 14, 2021, the District issued a Notice of Violation ("NOV") to Brown Landholding Inc., the Property owner at the time, for the unauthorized activities noted in Paragraph 6.

8. The District and Brown Landholding Inc. entered into Consent Order SFWMD No. 2021-038-CO-ERP (“Original Consent Order”) to resolve the violations noted in the NOV. The Original Consent Order is attached as Exhibit B.

9. Notice of the Original Consent Order, which runs with the land, was recorded in the Official Records of Palm Beach County in Book 32775, on Page 1030, on August 12, 2021.

10. The Original Consent Order required Brown Landholding Inc. to obtain an Environmental Resource Permit (“ERP”) for the unauthorized works described in the NOV within 120 days of the effective date of the Original Consent Order. If Brown Landholding Inc. failed to timely obtain an ERP, then Brown Landholding Inc. was required to restore the Property to the ground elevations that existed prior to construction by removing all the fill material within 180 days of the effective date of the Original Consent Order.

11. Brown Landholding Inc. failed to timely comply with the terms of the Original Consent Order.

12. On May 10, 2022, Brown Landholding Inc. sold the Property to Respondent.

13. On May 12, 2022, Respondent’s representatives notified the District that Respondent had acquired the Property.

14. On August 1, 2022, the District issued Respondent a Notice of Noncompliance to inform Respondent of the Original Consent Order and its outstanding violations.

15. In response, Respondent asked for, and the District agreed to provide additional time to resolve the violations.

16. However, on August 19, 2024, District staff conducted an aerial inspection over the Property and observed Respondent using the Property as an unauthorized truck parking facility. So, on August 30, 2024, the District issued a NOV to Respondent for the

unauthorized construction and operation of a truck parking facility and for violating the Original Consent Order. The NOV is attached as Exhibit C.

17. Upon receipt of the NOV, Respondent removed the trucks from the Property and stopped all truck parking facility operations.

18. By entering into this Consent Order, Respondent provided the District with reasonable assurances of good faith and the District agrees not to initiate an enforcement action for the violations described above. Respondent agrees that all factual and legal claims providing the basis for this Consent Order, including all terms, provisions, and matters referred to in the Findings of Fact and Conclusions of Law, shall not be contested in any subsequent legal proceeding, which may be brought to enforce the terms of this Consent Order.

CONCLUSIONS OF LAW

19. As provided in Rule 62-330.020, Florida Administrative Code, and Sections 373.413 and 373.416, Florida Statutes, the District requires permits to construct, alter, operate, or maintain stormwater management systems or works including activities that impact wetlands. The activity must not harm the District's water resources.

20. The District finds that Respondent violated Chapter 373, Florida Statutes, and its corresponding rules, by not obtaining an ERP prior to constructing and operating a truck parking facility on the Property and by failing to comply with the terms of the Original Consent Order.

21. The District may initiate and maintain legal action to enforce its rules, permits, and orders, or to protect and preserve the state's water resources as provided in Section 373.129, Florida Statutes. The District may recover a civil penalty for each

offense in an amount not to exceed \$15,000.00 per offense. Each additional day in which a violation occurs will constitute a separate offense. The District may further recover investigative costs, court costs, and reasonable attorney's fees.

THEREFORE, having reached resolution of this matter, it is ORDERED:

ORDER

22. Within 30 days of the effective date of this Consent Order, Respondent must pay the District a total of \$7,300.00 in civil penalties and costs for settlement of the violations identified in this Consent Order. This amount includes \$4,800.00 in civil penalties and \$2,500.00 for the District's costs and attorney's fees incurred during the investigation of this matter and for preparing and tracking this Consent Order. Payment shall be made by cashier's check or money order. The instrument must be made payable to the "South Florida Water Management District" and must be delivered via U.S. Mail or hand delivery at the following address: South Florida Water Management District, MSC9210, Environmental Resource Bureau, 3301 Gun Club Road, West Palm Beach, Florida 33406. Respondent agrees that these amounts are reasonable and shall not contest them in any subsequent action regarding this Consent Order.

23. Within 30 days of the effective date of this Consent Order, Respondent must install silt fences ("BMPs") in accordance with Page 4 of the Regrading Plan, which is attached as Exhibit D.

24. Within 60 days of the effective date of this Consent Order and prior to conducting any of the fill removal activities noted in Paragraph 25, Respondent must schedule and attend an inspection with District staff, Gabriela Munoz at 561-682-2329 or gamunoz@sfwmd.gov to review the installed BMPs and to plan the fill removal. BMPs

must be installed in accordance with the *Florida Stormwater Erosion and Sedimentation Control Inspectors Manual*, issued by the Florida Department of Environmental Protection, dated October 2018. Should District staff identify deficiencies in the BMPs, Respondent must resolve said deficiencies within 7 days of the inspection.

25. Once the District has approved the BMPs and within 120 days of the effective date of this Consent Order, Respondent must restore the Property to the ground elevations that existed prior to the unauthorized activities described in the May 14, 2021 NOV by removing the fill material from the Property in accordance with the Regrading Plan.

26. Within 180 days of the effective date of this Consent Order, Respondent must submit a survey depicting the Property's final elevation in its restored state. The survey must note the Property's elevation on a maximum interval of 50 feet. The updated survey must be signed by a Professional Surveyor and Mapper registered in the State of Florida. The survey must be submitted to the District via U.S. mail or hand delivered to: Gabriela Munoz, South Florida Water Management District, Environmental Resource Bureau, 3301 Gun Club Road, MSC9210, West Palm Beach, Florida 33406. Concurrently, Respondent must schedule an inspection with District staff Gabriela Munoz at 561-682-2329 or gamunoz@sfwmd.gov. Should District staff identify deficiencies in the required restoration work, Respondent must resolve said deficiencies within 30 days of inspection.

27. Respondent agrees to pay the District stipulated penalties in the amount of \$100 per day for each day Respondent fails to timely comply with any of the requirements of this Consent Order. A separate stipulated penalty shall be assessed for each violation

of this Consent Order. Within 30 days of the District's written demand, Respondent must make payment of the stipulated penalties to the "South Florida Water Management District" by cashier's check or money order. The District may make demand for payment at any time after a failure to comply occurs. Nothing in this paragraph shall prevent the District from filing suit to specifically enforce any of the terms of this Consent Order. Any stipulated penalties assessed under this paragraph shall be in addition to the settlement sum agreed to in Paragraph 22 of this Consent Order. If the District is required to file a lawsuit to recover stipulated penalties under this paragraph or to enforce this Consent Order, the provisions pertaining to stipulated penalties are waived and the District is not foreclosed from seeking civil penalties of up to \$15,000.00 per offense per day, costs, and attorney's fees for violations of this Consent Order.

GENERAL PROVISIONS

28. District representatives may enter the Property to verify compliance with this Consent Order. Respondent's failure to comply with this Consent Order shall constitute a violation of Chapter 373, Florida Statutes.

29. Should Respondent fail to meet the requirements set forth in this Consent Order, the District reserves the right to petition for judicial or administrative enforcement of its terms. In such event, Respondent shall not contest or deny any fact, legal conclusion, or any other matter or fact set forth in this Consent Order, including the Findings of Fact and Conclusions of Law, penalties, fees, and costs. In exchange for the District not initiating legal proceedings and by signing below, Respondent waives all rights set forth in the Notice of Rights, attached as Exhibit E.

30. If the District successfully petitions or sues for enforcement of this Consent Order, Respondent agrees to and must pay the District's attorneys' fees, including, but not limited to, the fair market value of in-house counsel fees as if performed by outside or private counsel, court costs, and any other damages.

31. The District expressly reserves the right to initiate appropriate legal action to prevent or prohibit the future violation of applicable statutes or the corresponding rules, or to alleviate an immediate serious danger to the public health, safety, or welfare. If Respondent's non-compliance with this Consent Order leads to the District bringing an enforcement action, Respondent consents to receive service of process by registered mail with no signature required, delivered to Respondent's address.

32. This Consent Order shall take effect after the Respondent's and the District's (collectively, "Parties") execution, and shall remain in full force and effect until its terms and conditions are completed to the District's satisfaction.

33. In addition, prior to any sale, transfer, conveyance or lease of the Property, Respondent must provide a copy of this Consent Order to any prospective purchaser or successor in interest. Respondent shall provide notification to the District of the sale, transfer, or conveyance of the Property within 30 days.

34. Respondent, as the Property owner, consents to the District recording notice of this Consent Order in the Palm Beach County official records utilizing Form 62-330.090(1), Florida Administrative Code, attached as Exhibit F. The terms, conditions, covenants, and provisions of this Consent Order encumber the Property, run with the Property, and are binding upon and inure to the benefit of the Parties, their heirs, successors, and assigns, and all subsequent Property owners.

35. Entry of this Consent Order does not relieve Respondent of the need to comply with all applicable federal, state, and local laws, regulations, or ordinances, including District permitting requirements. This Consent Order does not give Respondent the authority to conduct any activities on the Property that are under the District's jurisdiction without first obtaining District authorization.

36. If any event causes delay, or reasonable likelihood of delay, in complying with the requirements or deadlines of this Consent Order, Respondent must prove that the delay was or will be caused by circumstances beyond Respondent's control. The failure of a contractor, subcontractor, materialman, or other agent who Respondent delegates to meet contractually imposed deadlines shall not be considered a cause beyond the Respondent's control.

37. Upon an event causing delay, or upon becoming aware of a potential for delay, Respondent must notify the District verbally within 24 hours, or by the next working day. Within 7 days of verbal notification, Respondent must notify the District in writing of the anticipated length and cause of the delay, the measures taken or to be taken to prevent or minimize the delay, and the timetable to implement these measures. If the District agrees that the delay or anticipated delay has been or will be caused by circumstances beyond Respondent's reasonable control, the time for performance may be extended for a period equal to the agreed delay. Such agreement shall be set forth in writing and include all reasonable measures necessary to avoid or minimize delay. The Respondent's failure to comply with the notice requirements in a timely manner shall constitute a waiver of Respondent's right to request an extension of time for compliance with the requirements or deadlines in this Consent Order.

38. In the event it is necessary for the District to initiate legal action regarding this Consent Order, such action may be initiated in the Fifteenth Judicial Circuit in Palm Beach County, Florida. The District also reserves the right to seek administrative enforcement by issuing an Administrative Complaint and Order for Corrective Action. If the District pursues administrative enforcement, any final hearing shall be located at the closest District facility to the subject Property, unless the District agrees otherwise.

DONE AND SO ORDERED in West Palm Beach, Palm Beach County, Florida, this _____ day of _____, 2025.

SOUTH FLORIDA WATER MANAGEMENT DISTRICT

Regulation Division

Jill S. Creech, P.E., Director

Date

STATE OF FLORIDA)
COUNTY OF _____)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ by _____.

Signature of Notary Public – State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known _____ OR Produced Identification
Type of Identification Produced

General Counsel Concurrence

Maricruz R. Fincher
General Counsel

Date

Legal Form Approval

Emily Johnson
Attorney

Date

RESPONDENT – OSI 100 BENOIST FARMS ROAD, LLC

BY: _____
Signature

DATE: _____

PRINT NAME: Andrew Smith

TITLE: Manager

STATE OF FLORIDA)
COUNTY OF _____)

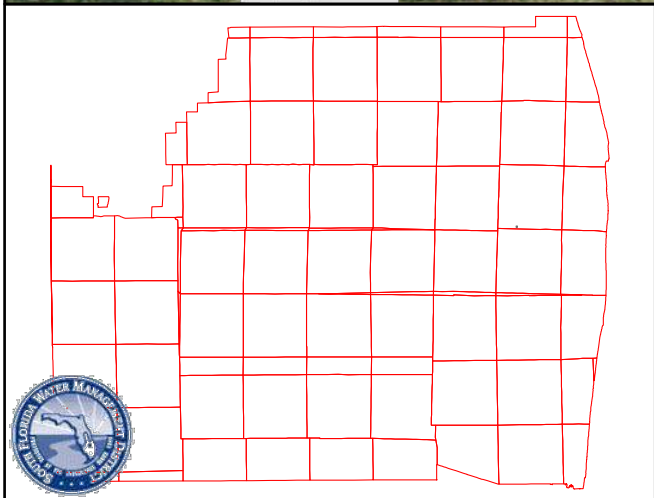
The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ by _____.

Signature of Notary Public – State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known _____ OR Produced Identification
Type of Identification Produced

Andrew Smith, the Manager of OSI 100 Benoist Farms Road, LLC, a Delaware limited liability company, on behalf of the company.



Application

PALM BEACH COUNTY, FLORIDA

Cost Code: 23427
 Application No.:
 Permit No.:
 Project Name:

Map Date: 2024-08-26

0 0.15 0.3
 Miles

Exhibit No: A

Exhibit 1

The Land referred to herein below is situated in County of Palm Beach, State of Florida, and escribed as follows:

TRACT 31, IN BLOCK 6, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGES 45 TO 54 INCLUSIVE, EXCEPTING THEREFROM THE EAST 5 ACRES THEREOF AND EXCEPTING THEREFROM A 40 FOOT STRIP OF LAND LYING ON EACH SIDE OF THE CENTER LINE OF THE COUNTY ROAD.

**BEFORE THE GOVERNING BOARD OF THE
SOUTH FLORIDA WATER MANAGEMENT DISTRICT**

**RECEIVED
DISTRICT CLERK'S OFFICE**

SOUTH FLORIDA WATER
MANAGEMENT DISTRICT,

11:52 am Aug 5, 2021

Complainant,

**SOUTH FLORIDA
WATER MANAGEMENT DISTRICT**

v.

SFWMD No. 2021-038-CO-ERP

BROWN LANDHOLDING INC.,



Respondent.
_____ /

CONSENT ORDER

This Consent Order is entered into between Complainant, South Florida Water Management District ("District"), and Respondent, Brown Landholding Inc., ("Respondent") by mutual consent, who agree as follows:

FINDINGS OF FACT

1. The District, a government entity created under Chapter 373, Florida Statutes, is a multipurpose water management district with its principal office located at 3301 Gun Club Road, West Palm Beach, Florida 33406.

2. Respondent is a person within the meaning of Section 373.019(15), Florida Statutes. Respondent's mailing address is 829 N Benoist Farms Rd. Royal Palm Beach, FL 33411.

3. The following exhibits are attached and incorporated into this Consent Order:

Exhibit A – Location Map;

Exhibit B – Pre-Application Meeting Request Form;

Exhibit C - Notice of Rights; and

Exhibit D – Notice of Consent Order

4. Respondent owns property with Parcel Identification Number 00424327050063100; located in Section 32, Township 43, Range 42; Palm Beach County, Florida (“Property”). The Property is shown on the location map attached as Exhibit A.

5. The District has jurisdiction over the Respondent, the Property, any stormwater management system, wetlands, wetland impacts, all works, and maintenance activities conducted on the Property as provided in Chapter 373, Florida Statutes.

6. On March 22, 2021, District staff received a Public Inquiry concerning unauthorized filling and dumping on the Property without an Environmental Resource Permit (“ERP”).

7. On March 30, 2021, District staff inspected the Property and discovered unauthorized filling and grading. Approximately two feet of roof tiles and fill dirt was observed, and no best management practices were implemented in order to contain any potential offsite discharges of turbid surface water runoff.

8. On May 14, 2021, the District issued a Notice of Violation (“NOV”) to the Respondent for the unauthorized activities described in Paragraph 7.

9. By entering into this Consent Order, Respondent provided the District with reasonable assurances of good faith and the District agrees not to initiate an enforcement action for the violations described above. Respondent agrees that all factual and legal claims providing the basis for this Consent Order, including all terms, provisions, and

matters referred to in the Findings of Fact and Conclusions of Law, shall not be contested in any subsequent legal proceeding, which may be brought to enforce the terms of this Consent Order.

CONCLUSIONS OF LAW

10. As provided in Rule 62-330.020, Florida Administrative Code, and Sections 373.413 and 373.416, Florida Statutes, the District requires permits to construct, alter, operate, or maintain stormwater management systems or works including activities that impact wetlands. The activity must not harm the District's water resources.

11. The District finds that Respondent violated Chapter 373, Florida Statutes, and corresponding rules, by not obtaining an ERP prior to filling and grading the Property, and by failing to implement proper Best Management Practices.

12. The District may initiate and maintain legal action to enforce its rules, permits, and orders, or to protect and preserve the state's water resources as provided in Section 373.129, Florida Statutes. The District may recover a civil penalty for each offense in an amount not to exceed \$15,000.00 per offense. Each additional day in which a violation occurs will constitute a separate offense. The District may further recover investigative costs, court costs, and reasonable attorney's fees.

THEREFORE, having reached resolution of this matter, it is ORDERED:

ORDER

13. Within 30 days of the effective date of this Consent Order, Respondent must pay the District a total of \$6,550.00 in civil penalties and costs for settlement of the violations identified in this Consent Order. This amount includes \$4,050.00 in civil penalties and \$2,500.00 for the District's costs and attorney's fees incurred during the

investigation of this matter and for preparing and tracking this Consent Order. Payment shall be made by cashier's check or money order. The instrument must be made payable to the "South Florida Water Management District" and must be delivered via U.S. Mail or hand delivery at the following address: South Florida Water Management District, MSC9210, Environmental Resource Bureau, 3301 Gun Club Road, West Palm Beach, Florida 33406. Respondent agrees that these amounts are reasonable and shall not contest them in any subsequent action regarding this Consent Order.

14. Respondent must request a pre-application meeting within 30 days of the effective date of this Consent Order. The pre-application must be requested by submitting a Pre-Application Meeting Request Form via email to erpreapp@sfwmd.gov. The Pre-Application Meeting Request Form is attached as Exhibit B.

15. Respondent must submit an ERP application that addresses the unauthorized work on the Property within 60 days of the effective date of this Consent Order. The ERP application must include a stormwater management plan, with signed and sealed drawings, calculations, and supporting evidence that demonstrates that the proposed stormwater management system meets the minimum standards required by Part IV of Chapter 373, Florida Statutes. . The application must be substantially complete upon submittal. If a Request for Additional Information (RAI) is necessary, a complete written response to the District will be required within 30 days of the RAI. An ERP must be obtained within 120 days of the effective date of this Consent Order.

16. In the event that an ERP is not obtained within the specified timeframe, the Respondent shall restore the entire site to the ground elevations that existed prior to

construction by removing all of the fill material (i.e. roof tiles and fill dirt) within 180 days of the effective date of this Consent Order.

17. Prior to removing the fill material and regarding the Property, as described in paragraph 16, Respondent shall implement Best Management Practices, such as installing turbidity or erosion control measures (i.e. silt fences). The installation of a silt fence must be trenched to 4 inches below the ground surface and buried to contain any possible storm water runoff. The silt fence must be repaired and maintained as needed and remain in place until all earth work and construction activities, including soil stabilization, on the Property is complete.

18. Abandoning, withdrawing, or failing to complete the ERP application constitutes a violation of this Consent Order.

19. Respondent agrees to pay the District stipulated penalties in the amount of \$100.00 per day for each day Respondent fails to timely comply with any of the requirements of this Consent Order. A separate stipulated penalty shall be assessed for each violation of this Consent Order. Within 30 days of the District's written demand, Respondent must make payment of the stipulated penalties to the "South Florida Water Management District" by cashier's check or money order. The District may make demand for payment at any time after a failure to comply occurs. Nothing in this paragraph shall prevent the District from filing suit to specifically enforce any of the terms of this Consent Order. Any stipulated penalties assessed under this paragraph shall be in addition to the settlement sum agreed to in Paragraph 13 of this Consent Order. If the District is required to file a lawsuit to recover stipulated penalties under this paragraph or to enforce this Consent Order, the provisions pertaining to stipulated penalties are waived and the

District is not foreclosed from seeking civil penalties of up to \$15,000.00 per offense per day, costs, and attorney's fees for violations of this Consent Order.

GENERAL PROVISIONS

20. District representatives may enter the Property to verify compliance with this Consent Order. Respondent's failure to comply with this Consent Order shall constitute a violation of Chapter 373, Florida Statutes.

21. Should Respondent fail to meet the requirements set forth in this Consent Order, the District reserves the right to petition for judicial or administrative enforcement of its terms. In such event, Respondent shall not contest or deny any fact, legal conclusion, or any other matter or fact set forth in this Consent Order, including the Findings of Fact and Conclusions of Law, penalties, fees, and costs. In exchange for the District not initiating legal proceedings and by signing below, Respondent waives all rights set forth in the Notice of Rights, attached as Exhibit C.

22. If the District successfully petitions or sues for enforcement of this Consent Order, Respondent agrees to and must pay the District's attorneys' fees, including, but not limited to, the fair market value of in-house counsel fees as if performed by outside or private counsel, court costs, and any other damages.

23. The District expressly reserves the right to initiate appropriate legal action to prevent or prohibit the future violation of applicable statutes or the corresponding rules, or to alleviate an immediate serious danger to the public health, safety, or welfare. If Respondent's non-compliance with this Consent Order leads the District to bring an enforcement action, Respondent consents to receive service of process by registered mail with no signature required, delivered to Respondent's mailing address.

24. This Consent Order shall take effect after the Respondent and the District's (collectively, the "Parties") execution, and shall remain in full force and effect until its terms and conditions are completed to the District's satisfaction.

25. In addition, prior to any sale, transfer, conveyance or lease of the Property, Respondent must provide a copy of this Consent Order to any prospective purchaser or successor in interest. Respondent shall provide notification to the District of the sale, transfer, or conveyance of the Property within 30 days.

26. Respondent, as the Property owner, consents to the District recording notice of this Consent Order in the Palm Beach County official records utilizing Form 62-330.090(1), Florida Administrative Code, attached as Exhibit D. The terms, conditions, covenants, and provisions of this Consent Order encumber the Property, run with the Property, and are binding upon and inure to the benefit of the Parties, their heirs, successors, and assigns, and all subsequent Property owners of the Property.

27. Entry of this Consent Order does not relieve Respondent of the need to comply with all applicable federal, state, and local laws, regulations, or ordinances, including District permitting requirements. This Consent Order does not give Respondent the authority to conduct any activities on the Property that are under the District's jurisdiction without first obtaining District authorization.

28. If any event causes delay, or reasonable likelihood of delay, in complying with the requirements or deadlines of this Consent Order, Respondent must prove that the delay was or will be caused by circumstances beyond Respondent's control. The failure of a contractor, subcontractor, materialman, or other agent who Respondent

delegates to meet contractually imposed deadlines shall not be considered a cause beyond the Respondent's control.


29. Upon an event causing delay, or upon becoming aware of a potential for delay, Respondent must notify the District verbally within 24 hours, or by the next working day. Within 7 days of verbal notification, Respondent must notify the District in writing of the anticipated length and cause of the delay, the measures taken or to be taken to prevent or minimize the delay, and the timetable to implement these measures. If the District agrees that the delay or anticipated delay has been or will be caused by circumstances beyond Respondent's reasonable control, the time for performance may be extended for a period equal to the agreed delay. Such agreement shall be set forth in writing and include all reasonable measures necessary to avoid or minimize the delay. The Respondent's failure to comply with the notice requirements in a timely manner shall constitute a waiver of Respondent's right to request an extension of time for compliance with the requirements or deadlines in this Consent Order.

30. In the event it is necessary for the District to initiate legal action regarding this Consent Order, such action may be initiated in the Fifteenth Judicial Circuit in Palm Beach County, Florida. The District also reserves the right to seek administrative enforcement by issuing an Administrative Complaint and Order for Corrective Action. If the District pursues administrative enforcement, any final hearing shall be located at the closest District facility to the subject Property, unless the District agrees otherwise.

DONE AND SO ORDERED in West Palm Beach, Palm Beach County, Florida, this 2nd day of August, 2021.

SOUTH FLORIDA WATER MANAGEMENT DISTRICT

Regulation Division




Jill S. Creech, P.E., Director

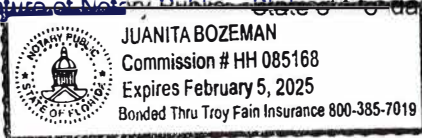
07/29/21

Date

STATE OF FLORIDA)
COUNTY OF PALM BEACH)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this July 29, 2021 by Jill S. Creech



~~Signature of Notary Public, State of Florida~~


Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known _____ OR Produced Identification
Type of Identification Produced

General Counsel Concurrence



Carolyn Ansay

8/02/2021

Date

RESPONDENT – BROWN LANDHOLDING INC.

BY: *William S Braswell*
Signature

DATE: 7/23/21

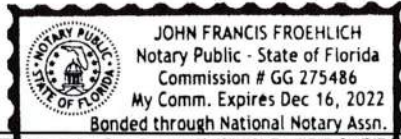
PRINT NAME: William Steven Braswell

TITLE: President

STATE OF FLORIDA)
COUNTY OF PALM BEACH)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7/23/21 by WILLIAM STEVEN BRASWELL

John Froehlich
Signature of Notary Public – State of Florida

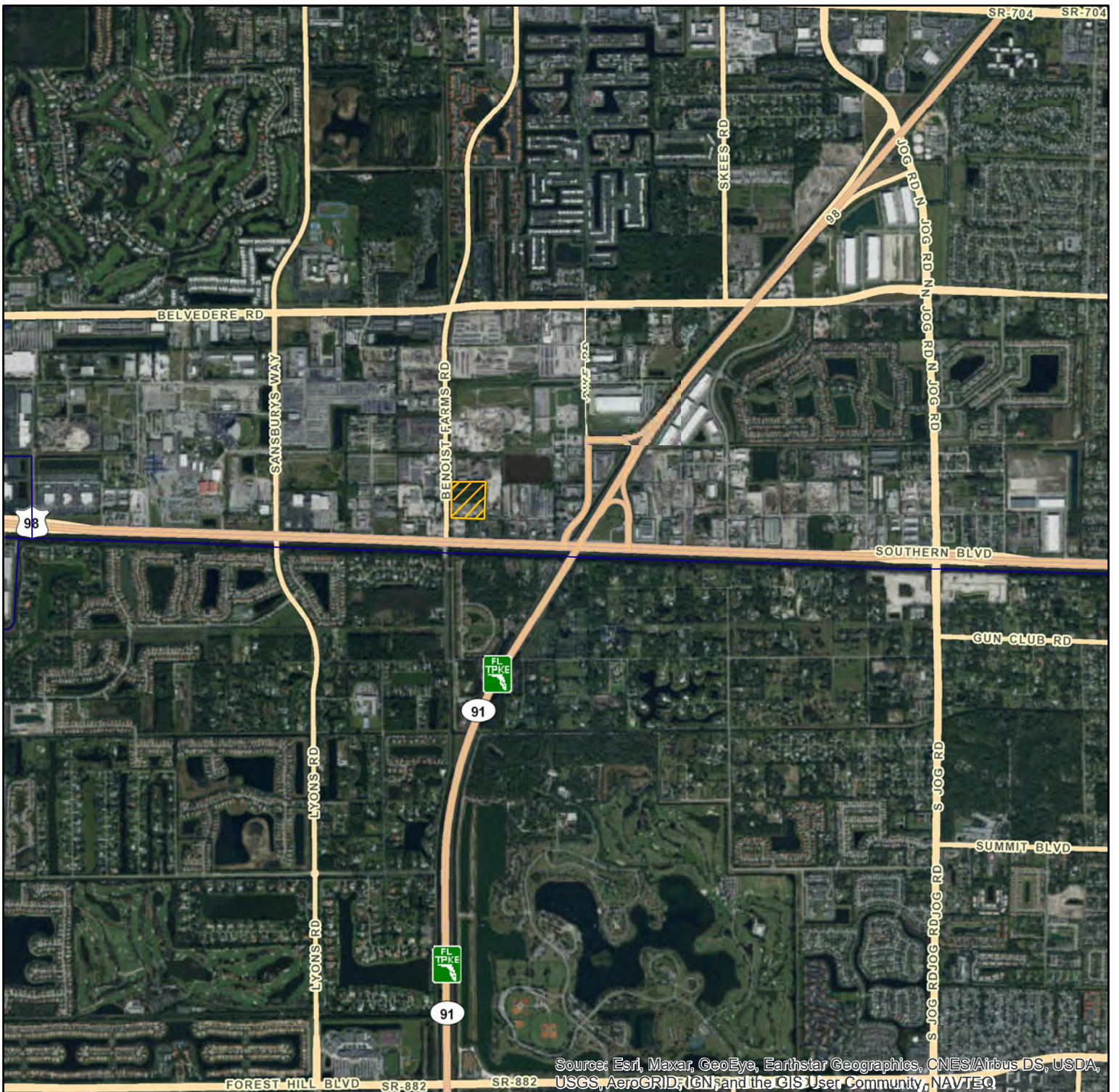


Print, Type, or Stamp Commissioned Name of Notary Public

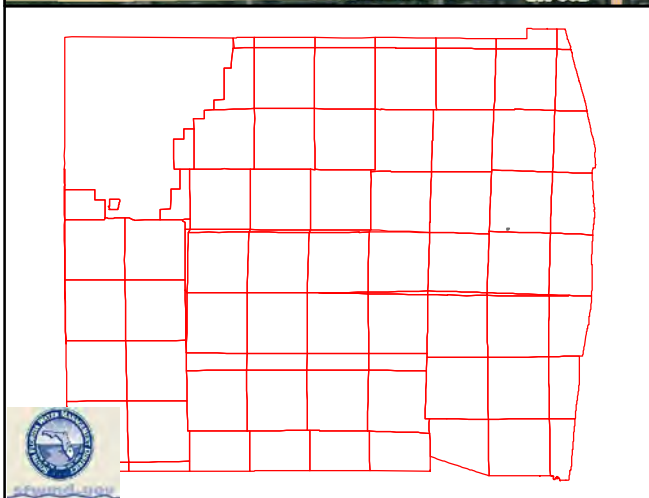
Personally Known To me OR Produced Identification
Type of Identification Produced

(name and title of officer manager office or agent)

Brown Landholding, Inc., Florida corporation, on behalf of the corporation.



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, NAVTEQ



 Cost Code 11431 PALM BEACH COUNTY,
 FLORIDA

N

Map Date: 2021-04-02

Cost Code: 11431
 Sec 32 / Twp 43 / Rge 42
 Project Name: 100 N Benoit Farms Rd.

0 0.5 1
 Miles



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

Pre-Application Meeting Request

TO: ERPREAPP@SFWMD.GOV	FROM: _____ Date _____ Name _____ Phone Number _____ Email Address _____
----------------------------------	--

GENERAL INFORMATION

(A location map and aerial photograph with geographic references should be brought to the meeting or submitted with the request.)

<input type="checkbox"/> New Project <input type="checkbox"/> Permit Modification	Project Name		
Permit Number	Project Location		
Address			
City	County		
South Florida Water Management District Basin	Section	Township	Range
Special Drainage District	Parcel Identification (if available)		

PROJECT DESCRIPTION (including project acreage)

Please describe the proposed land use, surface water management system and receiving system, and wetland impacts.

SPECIFIC CONCERNS/ISSUES This information will help to make the meeting more productive and will assist in determining whether other District units should participate (i.e. Comprehensive Everglades Restoration Plan, right-of-way, water use, land stewardship).

ADDITIONAL INFORMATION

<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	Are there historic basin storage/floodplain issues?
<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	Does this project discharge into or is it in close proximity to an Outstanding Florida Water Aquatic Preserve?
If YES, please name: _____				
<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	Does the site contain wetlands or other surface waters?
<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	Has District staff performed a wetland determination?
If YES, please provide name of staff person: _____ and Date: _____				
<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	If NO, would you like to request one now?
<input type="checkbox"/>	YES	<input type="checkbox"/>	NO	Does the site contain or is it adjacent to, state-owned, sovereign, submerged lands?

To help us reserve the appropriate size conference room, list all persons and/or the total number who plan to attend the meeting and their affiliation.

Name/Quantity	Affiliation	Name/Quantity	Affiliation

Pre-Application Meeting Request

[ENVIRONMENTAL RESOURCE BUREAU CONTACTS & LOCATIONS](#)

(CLICK ABOVE LINK AND SCROLL DOWN FOR FULL LIST)

Pre-Application Meeting Request

erpreapp@sfwmd.gov

Upon receipt of your request it will be forwarded to the appropriate Service Center Staff. You will be contacted by Staff to set a specific date and time for the meeting. Feel free to provide your preferred date and time range in your email to the address above.

Surface Water/Engineering & Variances

- **Broward, Miami-Dade, Monroe and Palm Beach counties**
Dustin Wood, P.E.
duwood@sfwmd.gov - (561) 682-2624
- **Charlotte, Collier, Hendry and Lee counties**
Angelica Hoffert, P.E.
ahoffert@sfwmd.gov (239) 338-2929 x7731
- **Glades, Highlands, Martin, Okeechobee and St. Lucie counties**
Gary Priest, P.E.
gpriest@sfwmd.gov - (863) 462-5260 x3016
- **Orange, Osceola and Polk counties**
Debra Laisure, P.E.
dlaisure@sfwmd.gov - (407) 858-6100 x3805

Wetlands & State Lands

- **Broward, Martin, Miami-Dade, Monroe, Palm Beach, St. Lucie**
Barb Conmy
bconmy@sfwmd.gov - (561) 682-6937
- **Charlotte, Collier, Hendry, Lee**
Laura Layman
llayman@sfwmd.gov - (239) 338-2929 x7725
- **Glades, Highlands, Okeechobee**
Stephanie Raymond
sraymon@sfwmd.gov - (863) 462-5260 x3007
- **Orange, Osceola, Polk**
Marc Ady
mady@sfwmd.gov - (407) 858-6100 x3803

NOTICE OF RIGHTS

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Florida Statutes. Persons seeking a hearing on a District decision which affects or may affect their substantial interests shall file a petition for hearing in accordance with the filing instructions set forth herein within 21 days of receipt of written notice of the decision unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Florida Statutes; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Florida Statutes. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, posting, or publication that the District has taken or intends to take final agency action. Any person who receives written notice of a District decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action that materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional point of entry pursuant to Rule 28-106.111, Florida Administrative Code.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Florida Statutes, shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The District may grant the request for good cause. Requests for extension of time must be filed with the District prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and whether the District and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

FILING INSTRUCTIONS

A petition for administrative hearing must be filed with the Office of the District Clerk. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at the District's headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the District's security desk does not constitute filing. It will be necessary to request that the District's security officer contact the Office of the District Clerk. An employee of the District's Clerk's office will receive and process the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document.

INITIATION OF AN ADMINISTRATIVE HEARING

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Rules 28-106.201 and 28-106.301, Florida Administrative Code, initiation of an administrative hearing shall be made by written petition to the District in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the District's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the District's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the District to take with respect to the District's proposed action.

MEDIATION

The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401-.405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Section 120.68, Florida Statutes, and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final District action may seek judicial review of the District's final decision by filing a notice of appeal with the Office of the District Clerk in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the appropriate district court of appeals via the Florida Courts E-Filing Portal.



**SOUTH FLORIDA WATER MANAGEMENT
DISTRICT
Notice of Consent Order**

Document Prepared By:

South Florida Water Management District

Return Recorded Document To:

Regulation Division
South Florida Water Management District
3301 Gun Club Road
West Palm Beach, FL 33406
MSC 2430

RE: Respondent: Brown Landholding Inc.

Parcel: 00424327050063100

County: Palm Beach

A Consent Order between Brown Landholding Inc., and the South Florida Water Management District (“SFWMD”) Regulation Division, District Order Number SFWMD No. 202__-___-CO-ERP.

Notice

The SFWMD hereby gives notice that a Consent Order has been entered into between Brown Landholding Inc., (“Respondent”) and the SFWMD pertaining to the real-property described on Exhibit 1, attached hereto and made a part hereof ("Property"). This Property is subject to the requirements and restrictions set forth in Chapter 373, Florida Statutes (FS), Title 40E, Florida Administrative Code (FAC), and the provisions of the Consent Order.

Within thirty (30) days of any transfer of interest or control of any portion of the property described in the attached Consent Order, the Respondent(s) must notify the SFWMD in writing of the property transfer.

The Property identified in the Consent Order is subject to restoration plans or other requirements such as obtaining a permit. Purchasers are put on notice that such restoration plans or permit requirements exist. The purchasers are subject to compliance with all permitting and other requirements under Chapter 373, FS, Chapter 62.330, FAC, and Title 40E, FAC, for activities occurring on the Property.

Conflict Between Notice And Consent Order

This Notice of Consent Order may not include all of the information contained in the file of record. The entire Consent Order is available online at: www.sfwmd.gov/epermitting, select the Enforcement tab, then enter Cost Code: 11431 A paper copy can be obtained by contacting: **Natalie Cole - Environmental Supervisor**, South Florida Water Management District, by email at: ncole@sfwmd.gov, or by phone at: **(561) 682-6033**. Provisions in this Notice of Consent Order shall not be used in interpreting the Consent Order provisions. In the event of conflict between this Notice of Consent Order and the Order itself, the Consent Order shall control.

Release

This Notice may not be released or removed from the public records without the prior written consent of the South Florida Water Management District. The contact for this release is the Director of the Environmental Resource Bureau, 3301 Gun Club Road, West Palm Beach, FL 33406.

The terms, conditions, covenants, and provisions of the Consent Order encumber the real property described on Exhibit 1, attached hereto and incorporated herein ("Property"), shall run with the Property, and shall be binding upon and inure to the benefit of the parties hereto, their heirs, successors, and assigns, and all subsequent owners of the Property.

This Notice is executed on this _____ day of _____, 20_____.

South Florida Water Management District

District Clerk

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ by _____, as District Clerk of the South Florida Water Management District a public corporation, on behalf of the public corporation. He/She is personally known to me or has produced _____ as identification.

Notary Public

(seal)

Print

My Commission Expires: _____

Exhibit 1

(LEGAL DESCRIPTION)

The Land referred to herein below is situated in County of Palm Beach, State of Florida, and escribed as follows:

TRACT 31, IN BLOCK 6, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGES 45 TO 54 INCLUSIVE, EXCEPTING THEREFROM THE EAST 5 ACRES THEREOF AND EXCEPTING THEREFROM A 40 FOOT STRIP OF LAND LYING ON EACH SIDE OF THE CENTER LINE OF THE COUNTY ROAD.



August 30, 2024

Andrew Smith
OSI 100 Benoist Farms Road, LLC
800 Brickell Avenue, Suite 904
Miami, FL 33131
CERTIFIED MAIL NO. 9589 0710 5270 0124 6687 25

**Subject: 100 N Benoist Farms
Notice of Violation for Unauthorized Works and Violation of Consent Order
Enforcement Case No. 23427
Property ID No. 00424327050063100
Palm Beach County**

Dear Mr. Smith:

As discussed with South Florida Water Management District (District) staff and Andrei Danshes on July 24, 2024, an inspection by District staff indicates that the activities referenced below are in violation of Sections 373.430(1)(b), 373.413 and 373.416, Florida Statutes (FS) and Consent Order No. 2021-038-CO-ERP ("Order", enclosed). These statutes require that an Environmental Resource Permit ("ERP") be obtained from the District prior to constructing or operating stormwater management systems, ditches, culverts, structures, filling, excavation, or other construction that connects to, draws water into, or is placed in or across waters in the State, under the definition of works in Section 373.403(5), FS. The activities that require an ERP on this property and are in violation of the Order include the following:

1. Unauthorized construction and operation of a truck parking facility; and
2. Violation of Paragraphs 15 and 16 of the Order.

All further construction is required to discontinue until authorization is obtained from the District.

As a result of this violation, the District will seek civil penalties and recovery of staff investigative costs and may require restoration of the site. The specific terms for resolution of this violation will be forwarded to you shortly in the form of a settlement letter after your response to this letter. The District is authorized under Section 373.129 of the Florida Statutes to seek civil penalties and to recover costs, such as staff investigative time and attorneys fees. Should violations of the statutes referenced above continue to occur, the District will take immediate action to mandate compliance.

Please respond, in writing, within ten (10) days of receipt of this letter with your intentions regarding this matter.

If you have any questions or require additional assistance, please contact Kathryn Malinowski at 561-682-2326 or via email at kmalinow@sfwmd.gov.

Sincerely,

A handwritten signature in blue ink that reads "Natalie Cole". The signature is written in a cursive, flowing style.

Natalie Cole
Administrator, Environmental Resource Bureau

eEnclosures: Location Map ([23427_Location_Map_20240826.pdf](#))
Consent Order No. 2021-038-CO-ERP ([11431_FullyExecutedCO_20210809](#))
Notice of Noncompliance ([11431_ENF_NonComp1_20220801.pdf](#))
Photo Exhibit ([23427_InspectPhotos_20240826.pdf](#))

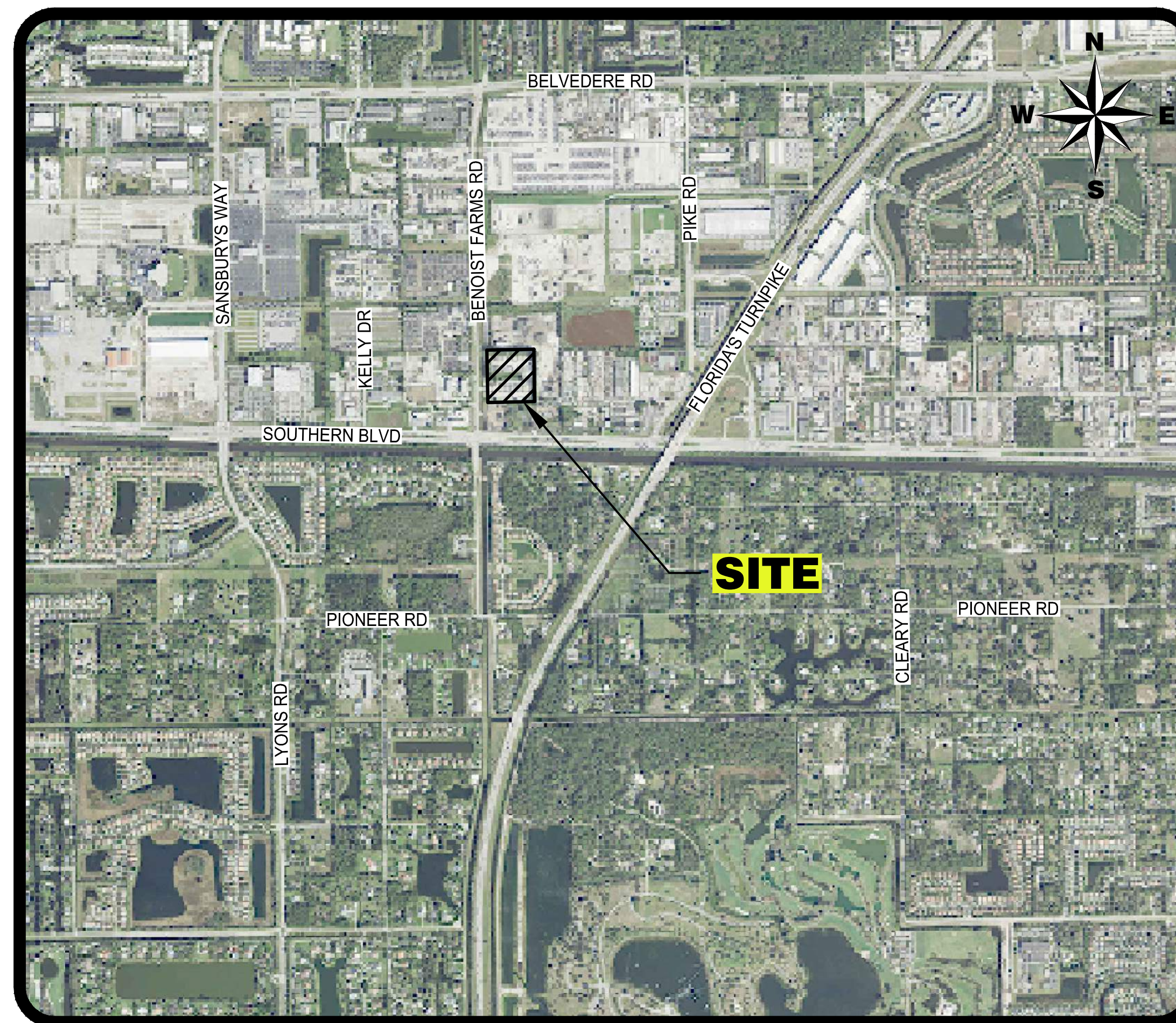
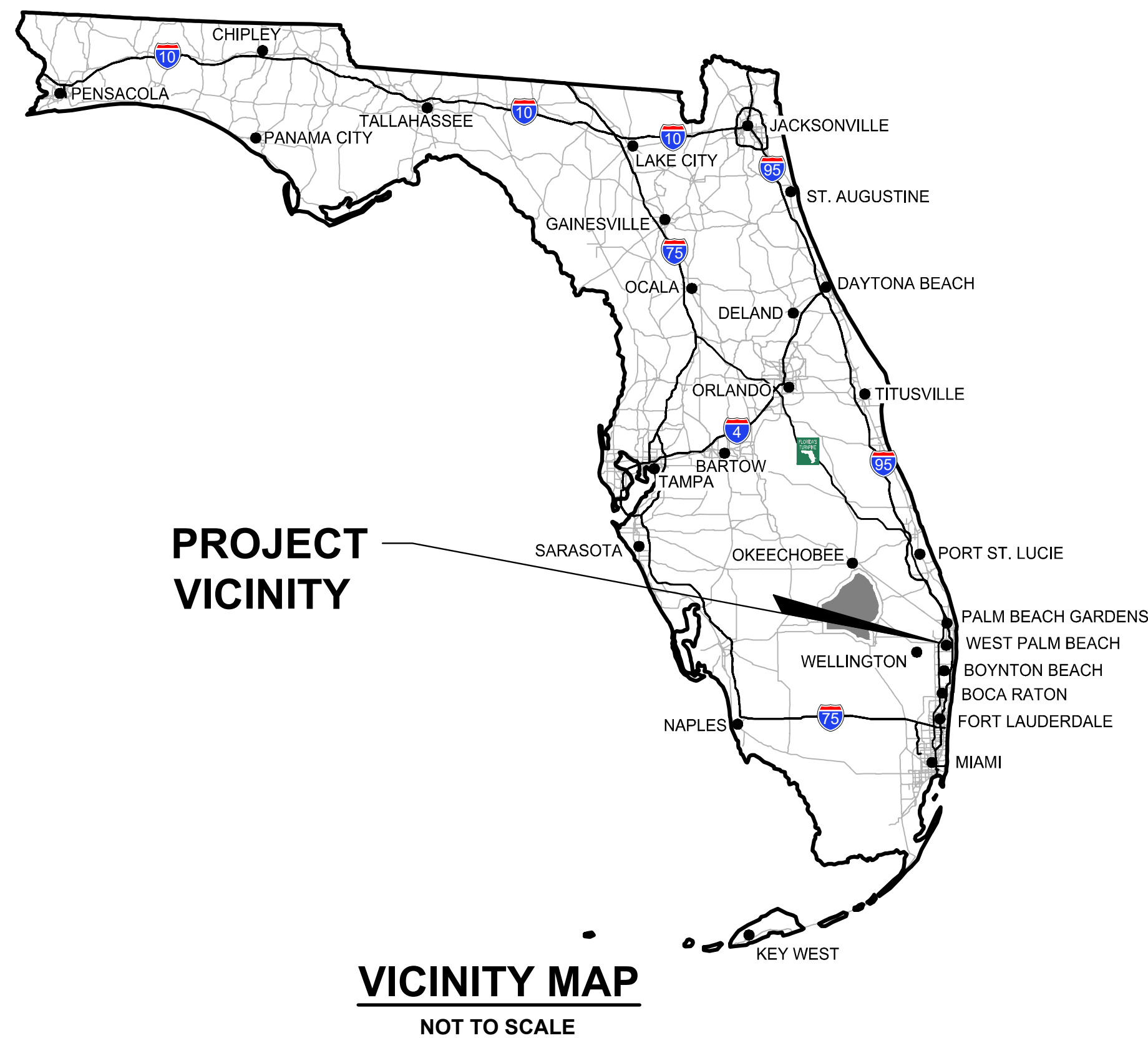
c: Andrei Danshes, Outour Storage Investments LLC (E-Mail)

This document is filed in the eEnforcement system under Enforcement Case Number 23427

GRADING PLANS

100 N. BENOIST FARMS ROAD

SECTION 32, TOWNSHIP 43S., RANGE 42E.
PALM BEACH COUNTY, FLORIDA




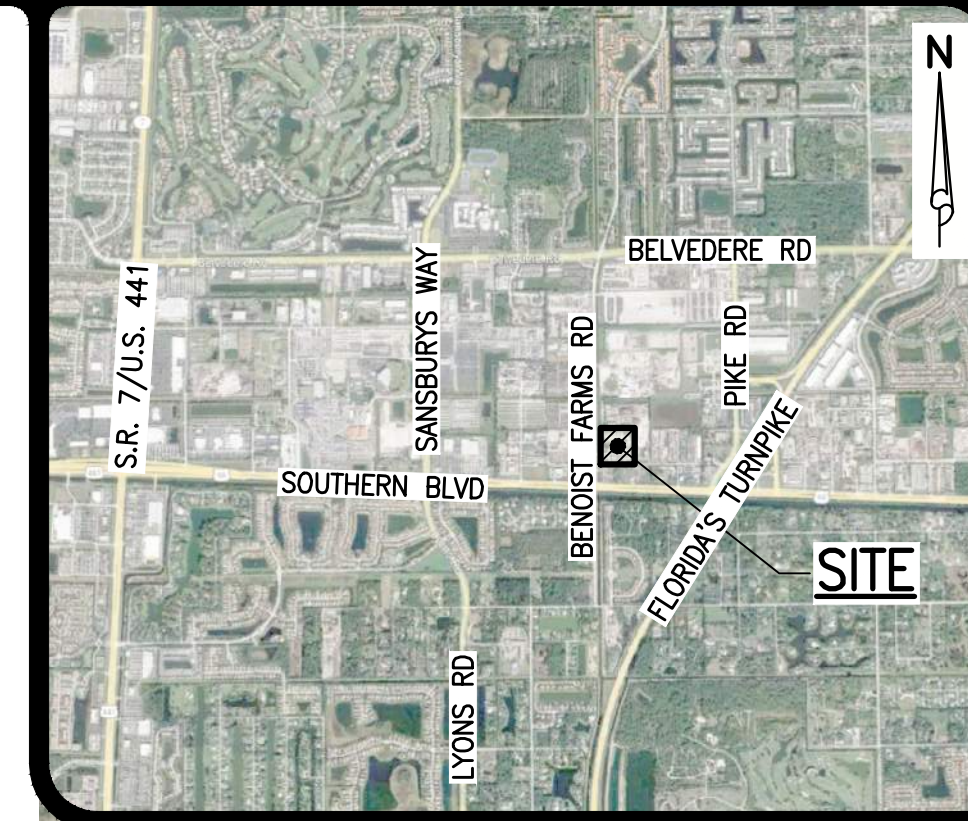
INDEX OF SHEETS

SHEET NO.:	DESCRIPTION:
1	TITLE SHEET
2	2019 EXISTING CONDITIONS SURVEY
3	PROPOSED RESTORATION PLAN
4	POLLUTION PREVENTION PLAN

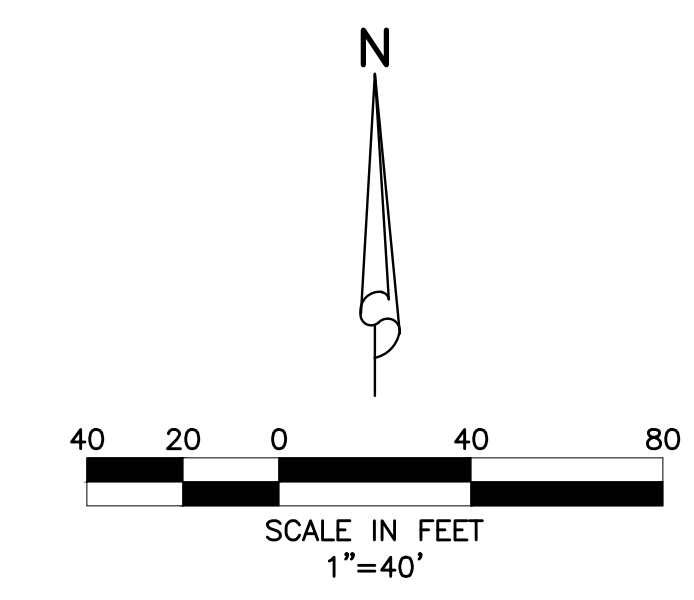
11/22/2024

Exhibit D, 1 of 4

				100 N. BENOIST FARMS ROAD SECTION 32, TOWNSHIP 43S., RANGE 42E. PALM BEACH COUNTY, FLORIDA TITLE SHEET	
DESIGN		DRAWN		JOB NO.	
J.P.		D.B.		22-197	
CHECKED		APPROVED		DRAWING NO.	
				22197G01	
DATE		SHEET		OF	
		1		4	



LOCATION MAP
NOT TO SCALE



LEGEND:

-----15----- EXISTING 2019 DEM
CONTOUR & ELEVATION

SURFACE DIGITAL ELEVATION MODEL (DEM)
OBTAINED FROM USGS NATIONAL MAP 3D
ELEVATION PROGRAM AND INCLUDES THE FL
PENINSULAR FDEM ORIGINAL PRODUCT
RESOLUTION. ELEVATIONS ARE IN THE NAVD
1988 DATUM AND WERE OBTAINED BETWEEN
01/05/2019 AND 04/15/2019.

AERIAL DATE BETWEEN 01/19/2021 TO 02/02/2021

11/22/2024

Exhibit D, 2 of 4



100 N. BENOIST FARMS ROAD
SECTION 32, TOWNSHIP 43S., RANGE 42E.
PALM BEACH COUNTY, FLORIDA
2019 EXISTING CONDITIONS SURVEY

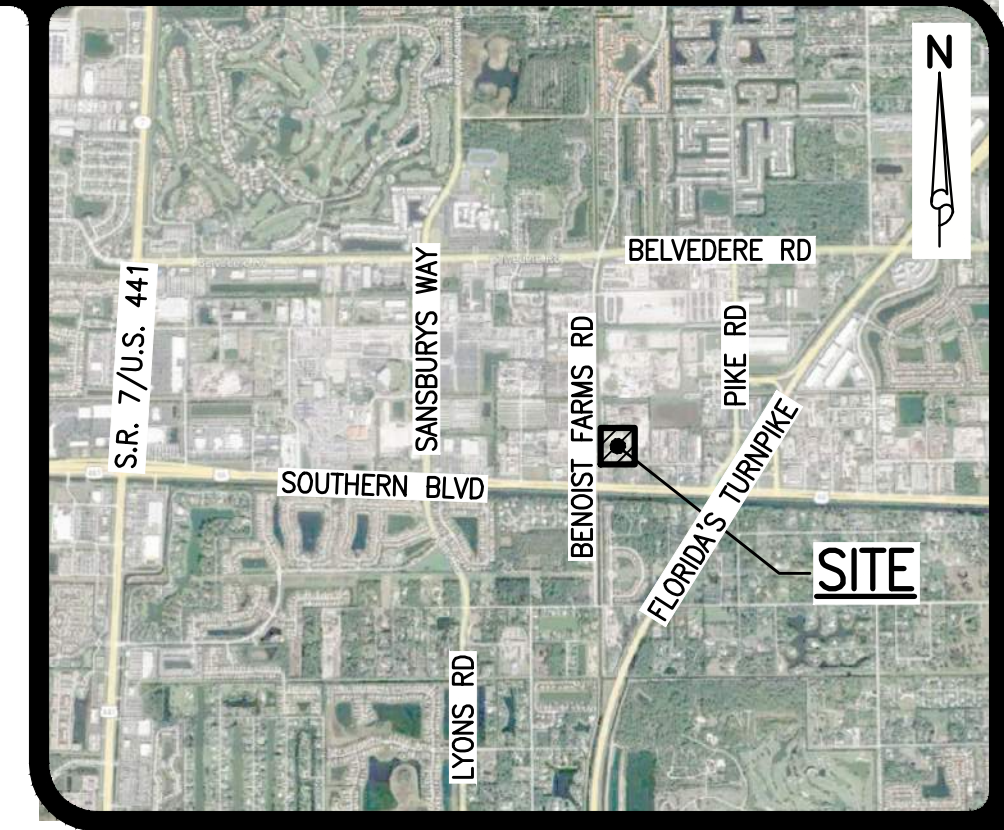
REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.P.	D.B.			

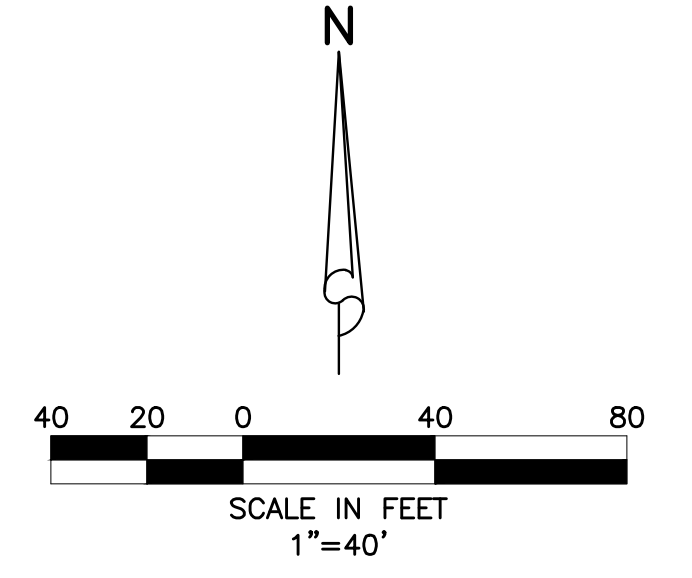
JOB NO.	DRAWING NO.	SHEET	OF
22-197	22197G02	2	4

COMMUNITY ASPHALT CORP
 Property Detail
 Location BENOIST FARMS RD
 Municipality UNINCORPORATED
 Parcel No. 00424327050063001
 Subdivision PALM BEACH FARMS CO PL NO 3
 Book 06241 Page 0070
 Type 4700 - MIN PROCESSING

S49°31'43"E
 1020.00'
 1019.99' GROUND



LOCATION MAP
 NOT TO SCALE



LEGEND:

- EXISTING SURVEY GRADE ELEVATION
- REMOVE EXISTING PARKING AND REPLACE W/ SEED
- EXISTING (TO REMAIN)
- EXISTING FLOW DIRECTION

AERIAL DATE 05/2023

NOTES:

- 1.) CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL EXISTING UTILITY LOCATES, SUPPORT, RELOCATIONS AND NOTIFICATIONS REQUIRED WITH ALL APPLICABLE UTILITY SERVICE PROVIDERS.
- 2.) CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF ANY AND ALL HAZARDOUS OR DELETERIOUS MATERIALS ENCOUNTERED ON SITE.

11/22/2024

Exhibit D, 3 of 4

±25'-TYP. NO REMAIN UNCHANGED

4:1 MAX. SLOPE (TYP.)

MATCH EXISTING ELEVATION AT PROPERTY LINE ±16.0 (TYP. AT SITE PERIMETER)

±50'-TYP. TO REMAIN UNCHANGED

±40'-TYP. TO REMAIN UNCHANGED

ALL EXISTING STOCKPILES, LOW AREAS, PAVING, CONCRETE, ETC. SHALL BE REMOVED TO MATCH PROPOSED ELEVATIONS. NO STOCKPILED MATERIAL SHALL REMAIN ON-SITE (TYP.)

4:1 MAX. SLOPE (TYP.)

EXISTING SITE TO BE RE-GRADED TO PREVIOUS CONDITIONS IN ACCORDANCE WITH ELEVATIONS SHOWN (TYP.)

MATCH EXISTING ±16.0

MATCH EXISTING ±16.0

MATCH EXISTING ±17.0

MATCH EXISTING ±16.0

MATCH EXISTING ±17.0

MATCH EXISTING ±(14.0-16.0)

DATUM NOTES:
 1.) ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED ON 8/10/2022 BY CAULFIELD & WHEELER, INC. (561) 392-1991.
 2.) AN APPROXIMATE CONVERSION BETWEEN THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929 AND N.A.V.D. CAN BE MADE BY ADDING 1.50' TO THE N.A.V.D. ELEVATION TO OBTAIN THE N.G.V.D. ELEVATION.

48 HOURS BEFORE DIGGING
 BROWARD • PALM BEACH • INDIAN RIVER
 ST. LUCIE • MARTIN COUNTIES
 1-800-432-4770
 SUNSHINE STATE 1 CALL
 UNDERGROUND UTILITIES
 NOTIFICATION CENTER

SIMMONS & WHITE
 2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
 Authorization # 3452 | 561.478.7848

100 N. BENOIST FARMS ROAD
 SECTION 32, TOWNSHIP 43S., RANGE 42E.
 PALM BEACH COUNTY, FLORIDA
 PROPOSED RESTORATION PLAN

DESIGN	DRAWN	CHECKED	APPROVED	DATE	JOB NO.	DRAWING NO.	SHEET	OF
J.P.	D.B.				22-197	22197G03	3	4

Y:\AUTOCAD_FILES\2022-22-197\GRADING PLANS\22197G03_PROP.dwg 11/22/2024 8:53 AM Brandon Longo

COMMUNITY ASPHALT CORP
 Property Detail
 Location BENOIST FARMS RD
 Municipality UNINCORPORATED
 Parcel No. 00424327050063001
 Subdivision PALM BEACH FARMS CO PL NO 3
 0070

S49°31'43"E
 1020.00'
 1019.99' GROUND

SILT FENCE (TYP.)

SILT FENCE (TYP.)

SILT FENCE (TYP.)

SILT FENCE (TYP.)

20'X50'X6" WASH ROCK CONSTRUCTION
 EXIT. REQUIRED UNTIL PAVING OPERATION
 IS COMPLETED

PROPOSED SILT FENCE (REQUIRED
 DURING CONSTRUCTION PER
 N.P.D.E.S./F.D.E.P. REGULATIONS)
 TO BE PLACED AS NECESSARY BY
 CONTRACTOR BASED ON FIELD
 CONDITIONS & CONSTRUCTION
 SEQUENCING

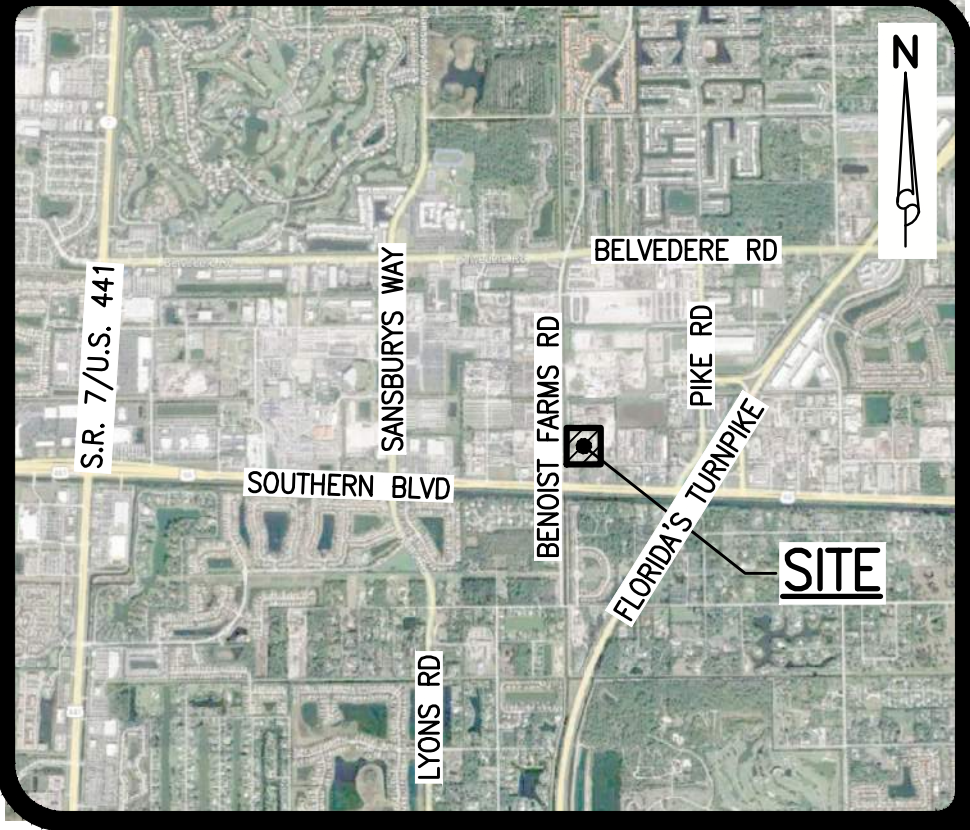
PLAT DESIGNATED AS SOUTHERN BOULEVARD/PINES NO. 2
 AS FILE IN PLAT BOOK 18 PAGE 71 PUBLIC RECORDS OF
 PALM BEACH COUNTY FLORIDA IS CANCELED,
 TERMINATED, AND
 HELD NULL AND VOID ALONG WITH ALL STREETS, ALLEYS
 SHOWN UPON SAID PLAT IN D.R.'S 521 P.282, WHL AND
 AND A PORTION OF STREET
 AND ALLEY ADJACENT THERETO.

TRACT 31, BLOCK 6
 THE PALM BEACH FARMS CO.
 PLAT NO. 3
 (PLAT BOOK 2, PAGES 45-54)

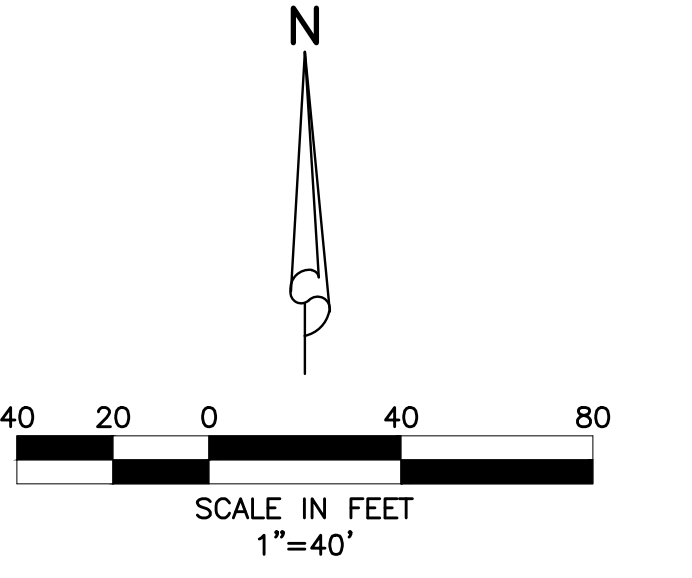
S MN/WASHER BM2 #2001
 BENCH LOCATION
 N: 854208.62
 E: 920518.60
 LAT: N02° 40' 52.73"
 LON: W080° 10' 19.47"
 ELEV: 16.59'

POLLUTION PREVENTION NOTES:

- 1.) THIS PLAN SHOULD BE USED AS A GUIDE, A COMPLETE STORMWATER POLLUTION PREVENTION PLAN SHOULD BE DEVELOPED BY THE CONTRACTOR TO MEET OR EXCEED F.D.E.P. REQUIREMENTS.
- 2.) CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO DIRT BE TRACKED OFF-SITE OR LEAVES THE SITE BY WIND, RUNOFF, OR OTHER MEANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL N.P.D.E.S. REQUIREMENTS INCLUDING FILING OF N.O.I., MONITORING REPORTS AND N.O.T.
- 4.) POLLUTION PREVENTION MEASURES SHALL CONSIST OF, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. CONSTRUCT WASHROCK PAD AT ALL POINTS EGRESS FOR WASHDOWN OF TRUCK TIRES.
 - B. CONSTRUCT EROSION CONTROL FENCE AND/OR TURBIDITY SCREENS ALONG PROPERTY LINES AS NEEDED.
 - C. NO AREA SHALL BE LEFT BARREN OR SUBJECT TO EROSION DURING CONSTRUCTION. SEEDING AND MULCHING IS REQUIRED FOR ANY AREAS ANTICIPATED TO BE BARREN DURING CONSTRUCTION FOR MORE THAN 15 DAYS.
 - D. TURBIDITY BARRIERS TO BE UTILIZED AT PROJECT OUTFALL.
 - E. OTHER MEASURES AS DIRECTED BY THE ENGINEER OR PALM BEACH COUNTY.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL POLLUTION PREVENTION REQUIREMENTS. FOR AFFECTED AREAS GREATER THAN 1 ACRE, COMPLIANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) THE FOLLOWING:
 - A. PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IN ACCORDANCE WITH THE D.E.P. "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" (D.E.P. DOCUMENT NO. 62-621.300(4)(A))
 - B. SUBMITTAL OF THE NOTICE OF INTENT (N.O.I.) TO THE D.E.P.
 - C. MAINTENANCE AND INSPECTION OF THE ELEMENTS OF THE S.W.P.P.P.
 - D. MAINTENANCE OF RECORDS (INSPECTION REPORTS, N.O.I., S.W.P.P.P., ETC.)
 - E. SUBMITTAL OF THE NOTICE OF TERMINATION TO THE D.E.P. AT THE CONCLUSION OF THE PROJECT.
- 6.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS & CONSTRUCTION SEQUENCING.

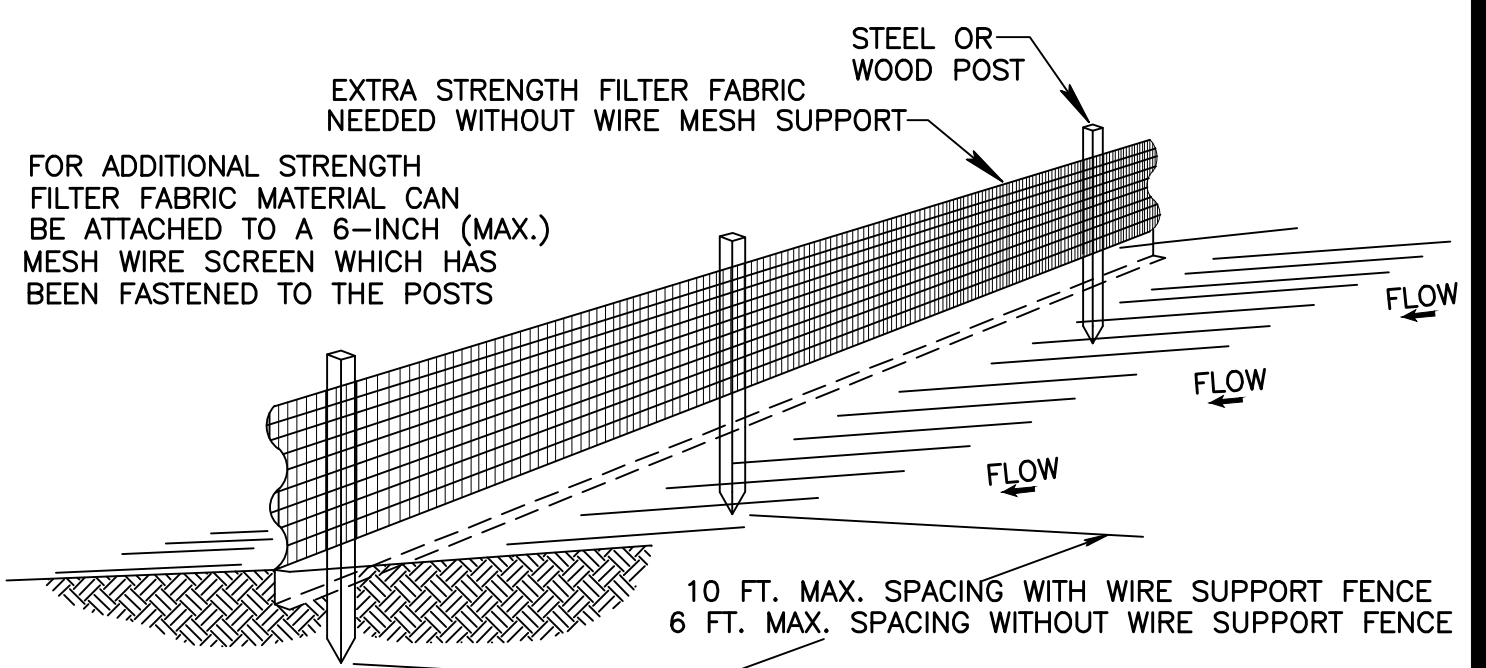


LOCATION MAP
 NOT TO SCALE



LEGEND

- SILT FENCE
- WASH ROCK
- PROJECT AREA



SILT FENCE INSTALLATION DETAIL
 NOT TO SCALE.

SILT FENCE NOTES:

- 1.) THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- 2.) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3.) POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- 4.) A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- 5.) WHEN STANDARD STRENGTH FILTER FABRIC IS USED. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 6.) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 7.) THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 8.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS AND CONSTRUCTION SEQUENCING.

11/22/2024

Exhibit D, 4 of 4

48 HOURS BEFORE DIGGING
 BROWARD • PALM BEACH • INDIAN RIVER
 ST. LUCIE • MARTIN COUNTIES
 1-800-432-4770
 CALL TOLL FREE
 SUNSHINE STATE 1 CALL
 UNDERGROUND UTILITIES
 NOTIFICATION CENTER



100 N. BENOIST FARMS ROAD
 SECTION 32, TOWNSHIP 43S., RANGE 42E.
 PALM BEACH COUNTY, FLORIDA
 POLLUTION PREVENTION PLAN

DESIGN J.P.	DRAWN D.B.	CHECKED	APPROVED	DATE	JOB NO. 22-197	DRAWING NO. 22197G04	SHEET 4	OF 4
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Y:\AUTOCAD_FILES\2022\22-197\GRADING PLANS\22197G04_PP.dwg 11/22/2024 8:53 AM Brandon Longo

NOTICE OF RIGHTS

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Florida Statutes. Persons seeking a hearing on a District decision which affects or may affect their substantial interests shall file a petition for hearing in accordance with the filing instructions set forth herein within 21 days of receipt of written notice of the decision unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Florida Statutes; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Florida Statutes. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, posting, or publication that the District has taken or intends to take final agency action. Any person who receives written notice of a District decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action that materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional point of entry pursuant to Rule 28-106.111, Florida Administrative Code.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Florida Statutes, shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The District may grant the request for good cause. Requests for extension of time must be filed with the District prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and whether the District and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

FILING INSTRUCTIONS

A petition for administrative hearing must be filed with the Office of the District Clerk. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at the District's headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day.

Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.
- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the District's security desk does not constitute filing. It will be necessary to request that the District's security officer contact the Office of the District Clerk. An employee of the District's Clerk's office will receive and process the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document.

INITIATION OF ADMINISTRATIVE HEARING

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Rules 28-106.201 and 28-106.301, Florida Administrative Code, initiation of an administrative hearing shall be made by written petition to the District in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the District's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the District's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the District to take with respect to the District's proposed action.

MEDIATION

The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401-.405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Section 120.68, Florida Statutes, and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final District action may seek judicial review of the District's final decision by filing a notice of appeal with the Office of the District Clerk in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the appropriate district court of appeals via the Florida Courts E-Filing Portal.



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
Notice of Consent Order**

Document Prepared By:

South Florida Water Management District

Return Recorded Document To:

Regulation Division
South Florida Water Management District
3301 Gun Club Road
West Palm Beach, FL 33406
MSC 2430

RE: Respondent: OSI 100 Benoist Farms Road, LLC

Parcel: 00424327050063100

County: Palm Beach County

A Consent Order between OSI 100 Benoist Farms Road, LLC, and the South Florida Water Management District ("SFWMD") Regulation Division, District Order Number SFWMD

Notice

The SFWMD hereby gives notice that a Consent Order has been entered into between **OSI 100 Benoist Farms Road, LLC**, ("Respondent") and the SFWMD pertaining to the real-property described on Exhibit 1, attached hereto and made a part hereof ("Property"). This Property is subject to the requirements and restrictions set forth in Chapter 373, Florida Statutes (FS), Title 40E, Florida Administrative Code (FAC), and the provisions of the Consent Order.

Within thirty (30) days of any transfer of interest or control of any portion of the property described in the attached Consent Order, the Respondent(s) must notify the SFWMD in writing of the property transfer.

The Property identified in the Consent Order is subject to restoration plans or other requirements such as obtaining a permit. Purchasers are put on notice that such restoration plans or permit requirements exist. The purchasers are subject to compliance with all permitting and other requirements under Chapter 373, FS, Chapter 62.330, FAC, and Title 40E, FAC, for activities occurring on the Property.

Conflict Between Notice And Consent Order

This Notice of Consent Order may not include all of the information contained in the file of record. The entire Consent Order is available online at: www.sfwmd.gov/epermitting, select the Enforcement tab, then enter Cost Code: 23427. A paper copy can be obtained by contacting: **Kathryn Malinowski – Environmental Analyst II**, South Florida Water Management District, **Environmental Resource Bureau, 3301 Gun Club Road, MSC9210, West Palm Beach, Florida, 33406**, or by phone at: **561-682-2326**. Provisions in this Notice of Consent Order shall not be used in interpreting the Consent Order provisions. In the event of conflict between this Notice of Consent Order and the Order itself, the Consent Order shall control.

Release

This Notice may not be released or removed from the public records without the prior written consent of the South Florida Water Management District. The contact for this release is the Director of the Environmental Resource Bureau, 3301 Gun Club Road, West Palm Beach, FL 33406.

The terms, conditions, covenants, and provisions of the Consent Order encumber the real property described on Exhibit 1, attached hereto and incorporated herein ("Property"), shall run with the Property, and shall be binding upon and inure to the benefit of the parties hereto, their heirs, successors, and assigns, and all subsequent owners of the Property.

This Notice is executed on this _____ day of _____, 20_____.

South Florida Water Management District

District Clerk

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ by _____, as District Clerk of the South Florida Water Management District a public corporation, on behalf of the public corporation. He/She is personally known to me or has produced _____ as identification.

Notary Public

(seal)

Print

My Commission Expires: _____

Exhibit 1

(LEGAL DESCRIPTION)

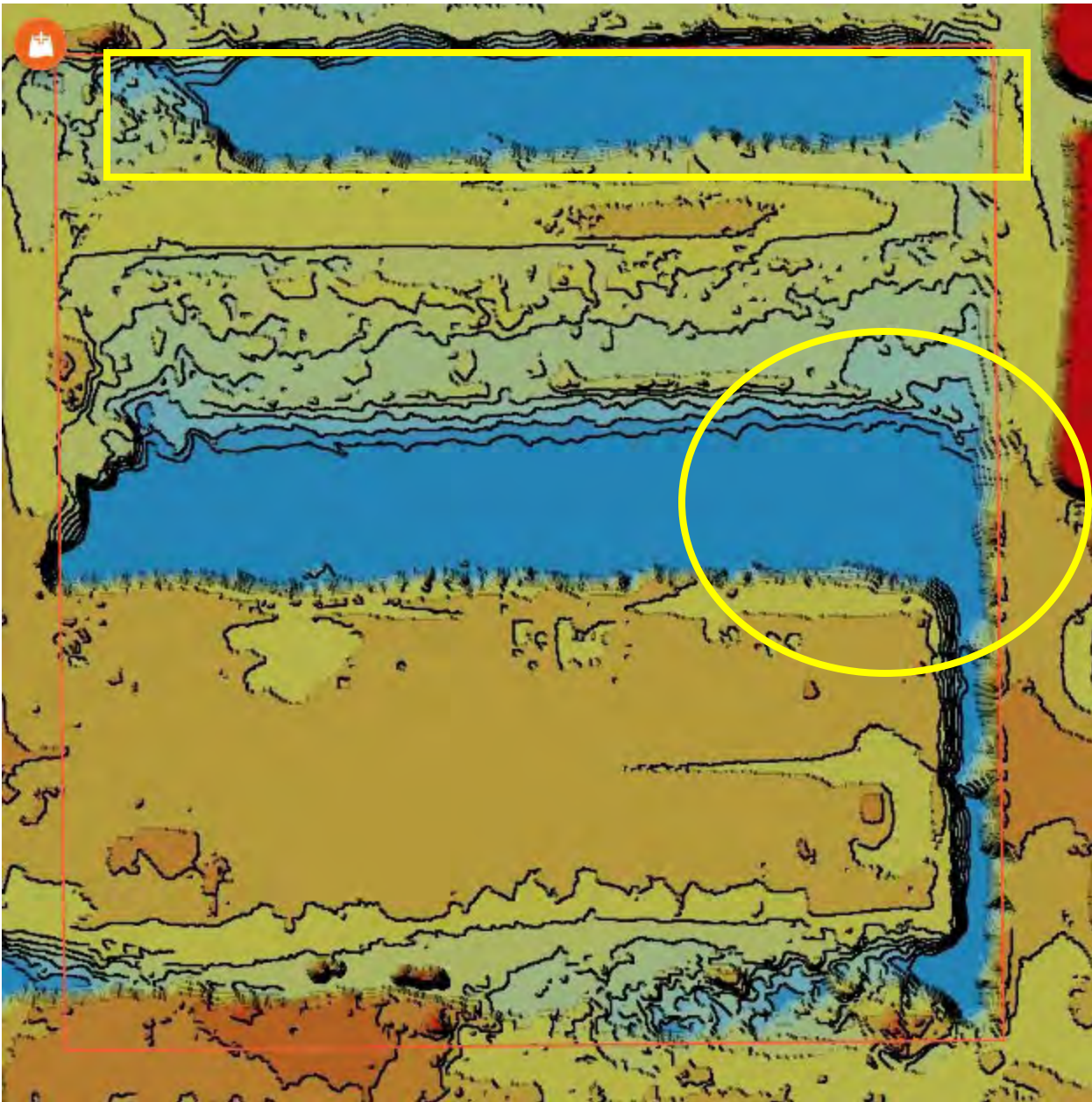
The Land referred to herein below is situated in County of Palm Beach, State of Florida, and described as follows:

TRACT 31, IN BLOCK 6, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 2, PAGES 45 TO 54 INCLUSIVE, EXCEPTING THEREFROM THE EAST 5 ACRES THEREOF AND EXCEPTING THEREFROM A 40 FOOT STRIP OF LAND LYING ON EACH SIDE OF THE CENTER LINE OF THE COUNTY ROAD.

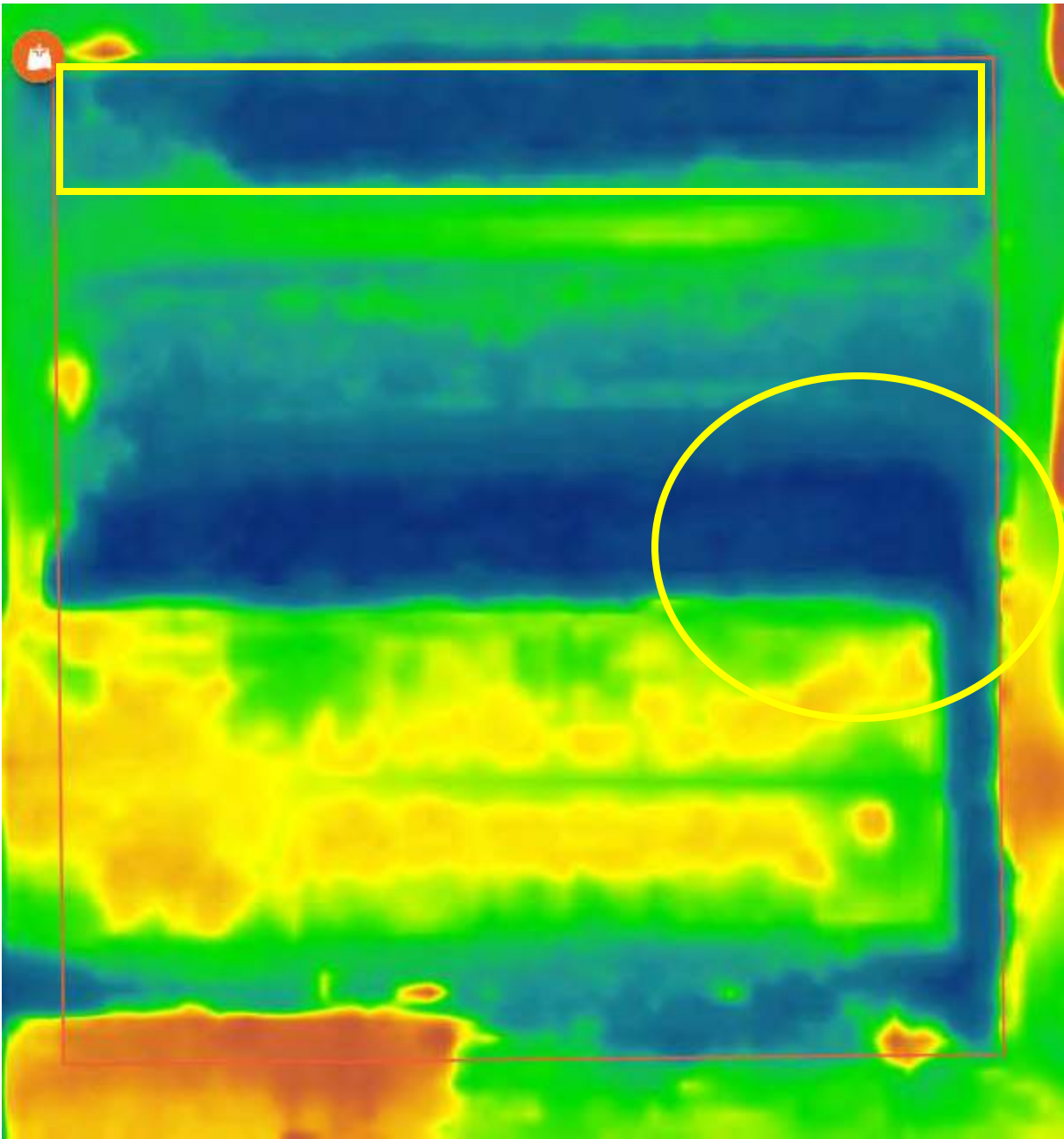
Aerial IMAGERY:



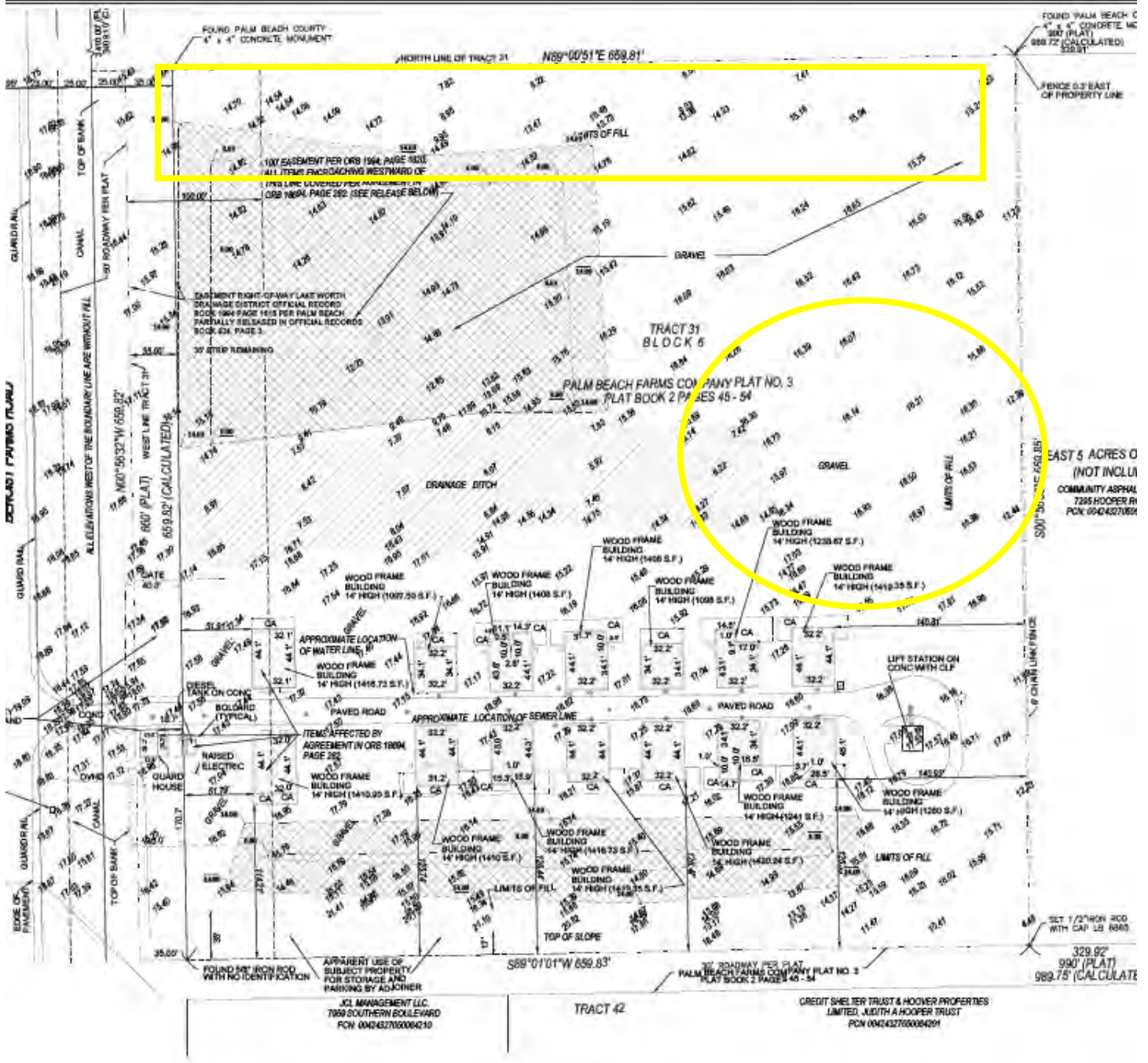
Site Before Filling (~Jan 2021) – Note the abundance of trees/vegetation that have since been removed and placed in borrow pit and ditches within project site (photos of illegal fill below) – **The applicant purchased the property in December of 2020 (according to property appraiser), therefore they are responsible for all of the filling that has occurred on the site since.**



Site Before Filling (~Jan 2021)



Site Before Filling (~Jan 2021)



Proposed work



Looking South over property (photo via compliance helicopter flight) -- Majority of the trees/vegetation on the property removed. It appears the cut trees/veg were placed in the borrow pit (North) and ditches on the east side of property. Part of the ditch in the center of the property (now functioning as a wetland with emergent wetland veg. present) has been partially filled. Need to verify if the remaining wetland area is to be filled. Plans don't indicate it, but owner did at last site visit.

HISTORIC AERIALS



1940 UF Aerial



1955 UF Aerial

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Borrow Pit - North side of property - Fill present (cut trees)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Borrow Pit - North side of property - Illegal Fll present (cut trees)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

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Borrow Pit - North side of property - Illegal fill present (cut trees)

South Florida Water Management District

Environmental Resource Permitting Bureau
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County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Wetland - Center of property - Functioning as a wetland with standing water and emergent wetland veg present (e.g., *Acrostichum danaeifolium*, *hydrocotyle*, *Sagittaria lancifolia*, etc.)

South Florida Water Management District

Environmental Resource Permitting Bureau
Supporting Photo Exhibit



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Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:
Top of Bank - Ditch/Wetland - Center of property

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Top of Bank - Ditch/Wetland - Center of Property - Illegal fill present (roof tiles/concrete/asphalt)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Canal - East side of property - Illegal Fill present (cut trees/roof tiles)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Canal - East side of property - Standing Water some wetland veg. present - Illegal fill present (cut trees)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Canal - East side of property - Possible fill present

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Canal - East side of property - Possible fill present

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Ditch/Canal - East side of property - Standing Water and wetland veg present

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



Prepared by: Megan Ticknor Date of this Exhibit: 01/10/2022

Project Name: 100 N Benoist Farms Road

Permit Number: _____ Application Number: 211006-13756 Cost Code Number: 11431

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Notes & Comments:

Ditch/Canal - East side of property - Illegal fill present (cut trees/roof tiles)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



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Notes & Comments:

Ditch/Canal - East side of property - Illegal fill present (cut trees)

South Florida Water Management District

Environmental Resource Permitting Bureau

Supporting Photo Exhibit



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County: Palm Beach Service Center: WPB Photo taken on: 11/30/2021

Photographer: Megan Ticknor Purpose: ERP Application

Direction of View: North Northeast East Southeast South Southwest West Northwest



Notes & Comments:

Photo of County permit from 1964 - Borrow pit on North end of Property - Ditch in center appears to be for conveyance only ... Does not appear to offer treatment.



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

August 30, 2024

Andrew Smith
OSI 100 Benoist Farms Road, LLC
800 Brickell Avenue, Suite 904
Miami, FL 33131
CERTIFIED MAIL NO. 9589 0710 5270 0124 6687 25

**Subject: 100 N Benoist Farms
Notice of Violation for Unauthorized Works and Violation of Consent Order
Enforcement Case No. 23427
Property ID No. 00424327050063100
Palm Beach County**

Dear Mr. Smith:

As discussed with South Florida Water Management District (District) staff and Andrei Danshes on July 24, 2024, an inspection by District staff indicates that the activities referenced below are in violation of Sections 373.430(1)(b), 373.413 and 373.416, Florida Statutes (FS) and Consent Order No. 2021-038-CO-ERP ("Order", enclosed). These statutes require that an Environmental Resource Permit ("ERP") be obtained from the District prior to constructing or operating stormwater management systems, ditches, culverts, structures, filling, excavation, or other construction that connects to, draws water into, or is placed in or across waters in the State, under the definition of works in Section 373.403(5), FS. The activities that require an ERP on this property and are in violation of the Order include the following:

1. Unauthorized construction and operation of a truck parking facility; and
2. Violation of Paragraphs 15 and 16 of the Order.

All further construction is required to discontinue until authorization is obtained from the District.

As a result of this violation, the District will seek civil penalties and recovery of staff investigative costs and may require restoration of the site. The specific terms for resolution of this violation will be forwarded to you shortly in the form of a settlement letter after your response to this letter. The District is authorized under Section 373.129 of the Florida Statutes to seek civil penalties and to recover costs, such as staff investigative time and attorneys fees. Should violations of the statutes referenced above continue to occur, the District will take immediate action to mandate compliance.

Please respond, in writing, within ten (10) days of receipt of this letter with your intentions regarding this matter.

If you have any questions or require additional assistance, please contact Kathryn Malinowski at 561-682-2326 or via email at kmalinow@sfwmd.gov.

Sincerely,



Natalie Cole
Administrator, Environmental Resource Bureau

eEnclosures: Location Map ([23427_Location Map_20240826.pdf](#))
Consent Order No. 2021-038-CO-ERP ([11431_FullyExecutedCO_20210809](#))
Notice of Noncompliance ([11431_ENF_NonComp1_20220801.pdf](#))
Photo Exhibit ([23427_InspectPhotos_20240826.pdf](#))

c: Andrei Danshes, Outour Storage Investments LLC (E-Mail)

This document is filed in the eEnforcement system under Enforcement Case Number 23427

APPENDIX B



Florida Department of Environmental Protection
 SOUTHEAST DISTRICT COMPLIANCE ASSURANCE PROGRAM
 State 404 Program Inspection Report

Inspection Date: 2/15/2022

Inspection Type: Complaint Compliance Enforcement

Lead DEP Inspector: Madison Pollard

Other: [Click here to enter text.](#)

Complaint No. 38021 ERP Site No. 416568 CE Project No. 401423 CHOOSE ONE No. Enter

Owner/Responsible Party: Brown Landholding, Inc.

Contact: 829 Benoist Farms Rd.

Contractor/Agent: Mary Lindgren, EW Consultants, Inc.

Contact: mlindgren@ewconsultants.com

Location: The project is located adjacent to the LWDD E-2W connected to the C-51 canal in unnamed wetlands, Class III Waters of the State, adjacent to 100 N Benoist Farms Rd., West Palm Beach, in Palm Beach County (PCN: 00-42-43-27-05-006-3100), approximately at 26°40'54.17"N, 80°10'22.22"W.



Figure 1- Site location (image taken from Palm Beach County Property Appraiser)

Waterbody: Lake Worth Drainage District E-2W

Class: I II III IV V

Shellfish Harvesting: Approved Conditionally Approved
 Conditionally Restricted Prohibited

OFW: Yes No

Aquatic Preserve: Yes No

Aquatic Preserve Name: n/a

State Lands: Yes No

Lease/Easement No.: n/a

SSL Lease Inspection completed: [Click to select date.](#)

Site History & Inspection Overview

Site History:

The subject site is adjacent to the Lake Worth Drainage District (LWDD E-2W) ditch which connects to the C-51 canal. The property was purchased by Brown Landholding, Inc. in December 2020. In January 2022, FDEP received a complaint from the South Florida Water Management District (SFWMD) regarding possible unauthorized wetland fill activities. The Southeast District (SED) reviewed the permitting history of the site and found no existing Environmental Resource Permits (ERP) on file. On October 6, 2021, an ERP application (#211006-13756) was submitted to SFWMD for earthwork necessary to come into compliance with a SFWMD Consent Order to meet the requirements of the SFWMD C-51 Basin criteria in addition to limiting runoff to adjacent neighbors. On May 9, 2022, this application was denied after applicant failed to submit necessary information requested by SFWMD.

After a site inspection by SFWMD on March 30, 2020, a Consent Order was entered into between the WMD and the property owner on July 29, 2021, to resolve the violation of unauthorized filling and dumping on the property without an ERP. Following this, the SED conducted a State 404 inspection on February 15, 2022.

According to the Palm Beach County Property Appraiser's website, Brown Landholding, Inc. sold the parcel to OSI 100 Benoist Farms Road, LLC in May 2022, amidst the compliance case with the department and SFWMD.

Site Inspection Overview:

Madison Pollard and Blaine Preston from the Florida Department of Environmental Protection (FDEP) conducted an inspection on February 15, 2022. The Department confirmed that unauthorized filling of a surface water had occurred. The center of the property was cleared of vegetation to create more space for parking and the cleared debris was dumped into a ditch located along the north side of the property. This ditch does not meet any of the criteria of the state assumed waters of the United States (WOTUS). The eastern side of a second ditch which is located in the central area of the property was also filled to create more parking (Unauthorized Surface Water Fill Map).

Compliance Status:

ERP – out of compliance and being handled by the SFWMD.

State 404 – In Compliance

Resource Assessment

FLUCCS/FNAI Community Type(s):	330 – Mixed Rangeland
Wetlands/Other Surface Waters (OSW) Present:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Waters of the United States (WOTUS) Present:	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> WOTUS determination not completed
Other Resources Present:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "Yes," identify: <i>N/A</i>
Resource Impacts:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Area of Authorized Impacts (ft ²):	0 ac.
Area of Unauthorized Impacts (ac.):	~0.24 ac. of wetlands but being handled by SFWMD

Impact Description:

The FLUCCS community composition at the site is classified as mixed rangeland. Presently, there are two Lake Worth Drainage District ditches that are classified as surface waters, one of which (the LWDD E-2W) was confirmed to contain a freshwater herbaceous wetland on the central western portion of the property. Through historical

aerial review, the site appears to contain Australian pine (*Casuarina equisetifolia*) and potentially other hardwood species. Two points were used to document the existence of wetlands and other surface waters on the property pursuant to Rule 62-340, Florida Administrative Code (F.A.C.) (see enclosed Unauthorized Surface Water Fill Map; 62-340 Data Forms: Points 1-2). Based on onsite findings, review of historic and more recent aerial photography (Figures 4-7: Aerials) and LIDAR imagery (Figure 8: LIDAR Map), it was determined that the unauthorized filling activity occurred in a surface water/wetland.



Figure 2: February 2021 before impacts.



Figure 3: January 2022 after impacts.

See the Unauthorized Wetland Dredge & Fill Map for the location of Point 1. The point was taken 50 ft NE of the area that had been filled). Point 1 consisted of only obligate groundcover plants and contained hydrological indicators; the soil profile was inaccessible because it was under 8+ inches of water (62-340 Data Form: Point 1). Based on this information, the point met the definition of a wetland by satisfying A Test and B Test criteria (62-340 Data Form: Point 1). Point description 1 serves as a reference point to detail what wetland characteristics would have been present in the northern ditch immediately prior to that area being altered and impacted. The ditch also meets the criteria of “other watercourse”, pursuant to 62-340, F.A.C.

See the Unauthorized Wetland Dredge & Fill Map for the location of Point 2. It was taken in the central portion of the ditch which had not been filled, about 20 feet from the unauthorized fill. Point 2 consisted of obligate, facultative and facultative wet plants in the groundcover, and contained hydrological indicators; the soil profile was inaccessible because it was under 8+ inches of water (62-340 Data Form: Point 2). Based on this information, the point met the definition of a wetland by satisfying A Test and B Test criteria (62-340 Data Form: Point 2). Point description 2 serves as a reference point to detail what wetland characteristics would have been present prior to the unauthorized impacts. The ditch also meets the criteria of “other watercourse”, pursuant to 62-340, F.A.C.

The unauthorized impact area was calculated by utilizing ArcGIS Pro to create a shapefile around the herbaceous vegetation and surface water that was shown on the base map within the site. The area of the shapefile was calculated to determine the total area of unauthorized wetland impacts, which was approximately 0.24 ac of surface water being filled.

Investigation Summary

On January 7, 2022, FDEP received a complaint regarding the potential filling of wetlands occurring at this site from the South Florida Water Management District. Soon after, the department collaborated with the SFWMD who was in contact with the property owner to get site access to conduct the complaint inspection.

On February 15, 2022, Madison Pollard and Blaine Preston from the Florida Department of Environmental Protection (FDEP) conducted a site visit. The Department found that filling had occurred in two ditches on the property. The center of the property had been cleared to create more space for parking and the cleared debris was dumped into a ditch along the North side of the property, which does not meet the criteria of any of the state assumed WOTUS. The fill in the north ditch is an Environmental Resource Permit (ERP) violation and is being handled by SFWMD. The east side of a ditch located in the center of the property was filled to connect two parking lots (Unauthorized Wetland Dredge & Fill Map). Upon further review of historic aerials, it was determined that this ditch had been constructed in the late 1960s within an adjacent wetland therefore, making this ditch a potential tributary if it meets the flow criteria. The two-point descriptions that were taken in undisturbed areas near the fill activity met the criteria of wetlands pursuant to Chapter 62-340.600(2), F.A.C. (Unauthorized Dredge & Fill Map; 62.340 Data forms Points 1-2). The ditch also meets the criteria of "other watercourse", pursuant to 62-340, F.A.C. Approximately 0.24 acres of fill was placed in surface waters at the property.

No ERP compliance will be pursued by the department since the South Florida Water Management District has delegation over commercial related Environmental Resource Permits and therefore, any non-compliance will be handled by the district.

WOTUS DETERMINATION

The onsite wetland does not meet the criteria for the following:

1) Adjacent wetland

- a. Although there is a culvert between the subject wetland and an offsite ditch, onsite observations indicated that the culvert is at a higher elevation and covered in upland vegetation, which provides insufficient data to support a direct hydrologic surface connection.

2) Territorial sea or water

- a. Subject wetland/surface water is not a territorial sea, nor has it been used, will be used, or is susceptible to use in interstate or foreign commerce, and is not tidally influenced.

3) Tributary

- a. Subject surface water is not a naturally occurring surface water channel and based on onsite observations, there is insufficient evidence to support that it contributes surface water flow to a downstream WOTUS in a typical year either directly or through one or more waters as defined in CFR 120.2.

4) Lakes, ponds, or impoundments of jurisdictional surface waters pursuant to CFR 120.2.

- a. The subject surface water is not a standing body of open water.

COMPLIANCE DESCRIPTION:

Based on onsite findings and the review of aerial photography from the 1960s (Figures 4-7) and LIDAR imagery, it was noted that there is insufficient evidence to establish a direct hydrologic surface connection between the onsite wetlands and any potential offsite WOTUS such as a nearby adjacent canal (a state assumed water – tributary- as defined in CFR 120.2).

At this time, the case with Brown Land Holding, Inc will be closed. The Department may reopen the complaint if new information is obtained or if it is determined that further investigation is necessary.

Supporting Documentation Attached:

- Figures such as maps, diagrams, and/or aerial imagery
- Site inspection photographs (see below)
- Chapter 62-340, F.A.C. Data Form(s)
- WOTUS Determination Documentation (see WOTUS Determination section)
- UMAM Documentation



Madison Pollard, Environmental Specialist II, CWE

10/06/2022

Date



Sirena Davila, Assistant Director

10/06/2021

Date

Historical Aerial Figures

Inspection Date: 2/15/2022

Lead DEP Inspector: Madison Pollard

DEP Certified Wetland Evaluator (CWE): Blaine Preston



Figure 4: 1940 historical aerial taken from University of Florida (UF).



Figure 6: 1964 historical aerial taken from Florida Department of Transportation (FDOT).



Figure 5: 1968 historical aerial taken from Florida Department of Transportation (FDOT).



Figure 7: 1995 historical aerial taken from Google Earth.

USGS 1-Meter DEM (2008)
BROWN LANDHOLDING INC / WETLAND
Site No.: 416568; Project No.: 401423

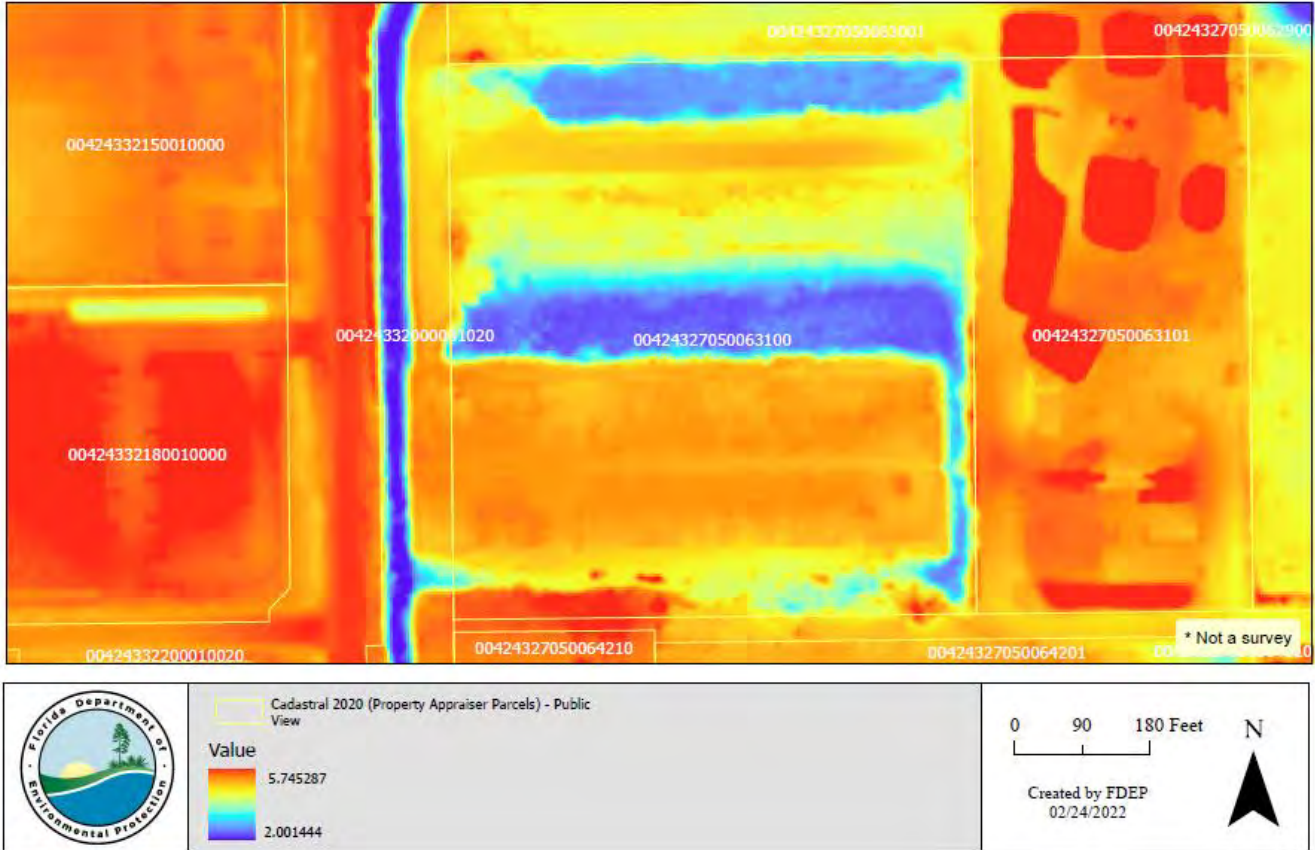


Figure 8: LIDAR Map (data from USGS LidarExplorer).

ERP Site Inspection Photos

Inspection Date: 2/15/2022

Lead DEP Inspector: Madison Pollard

DEP Certified Wetland Evaluator (CWE): Blaine Preston

Photographer: Madison Pollard



Photo 1: Southwest corner of property, view of the LWDD E-2W.



Photo 4: Culvert 30ft from southeast corner of the property.



Photo 2: Southeast corner of property.



Photo 5: Culvert 30ft from southeast corner of the property.



Photo 3: *Ludwigia* spp. in southeast corner of property.



Photo 6: *Sabal palmetto* near culvert in ditch.



Photo 7: Unauthorized fill area to extend parking lot.



Photo 10: Facing North from eastside of fill.



Photo 8: Unauthorized fill area to extend parking lot.



Photo 11: Point 1, overview of point with 8+ inches of standing water (DSCN2882).



Photo 9: East side of unauthorized fill.



Photo 12: Point 1, looking North (DSCN2886).



Photo 13: Point 1, Plant strata; looking East (DSCN2888) including *Typha* spp.



Photo 16: Point 1, looking West (DSCN2892).



Photo 14: Point 1, Plant strata; looking South (DSCN2890).



Photo 17: Point 1, *Nuphar luteum* (DSCN2894).



Photo 15: Point 1, Plant strata; looking South.



Photo 18: View North on NE corner of property, standing water in ditch.



Photo 19: View North on NE corner of property, standing water in ditch.



Photo 22: North side of property, ditch filled with debris and cleared vegetation.



Photo 20: North side of property, ditch filled with debris and cleared vegetation.



Photo 23: North side of property, ditch filled with debris and cleared vegetation.



Photo 21: *Ludwigia* spp observed near unauthorized fill.



Photo 24: Point 2, overview looking West (DSCN2912).



Photo 25: Point 2, west side of unauthorized fill.



Photo 28: Point 2, looking East (DSCN2919).



Photo 26: Point 2, standing water above ground (DSCN2914).



Photo 29: Point 2, Plant strata; looking South (DSCN2921).



Photo 27: Point 2, looking West (DSCN2917).



Photo 30: Point 2, Plant strata; looking West (DSCN2923).



Photo 31: West side of the property near entrance, the LWDD E-2W.



Photo 34: West side of property and the LWDD E-2W.



Photo 32: East side of the culvert leading to the LWDD E-2W.



Photo 35: Wetland vegetation (*Ludwigia* spp.) within fill on Northern side of property.



Photo 33: West side of the culvert leading to the LWDD E-2W.

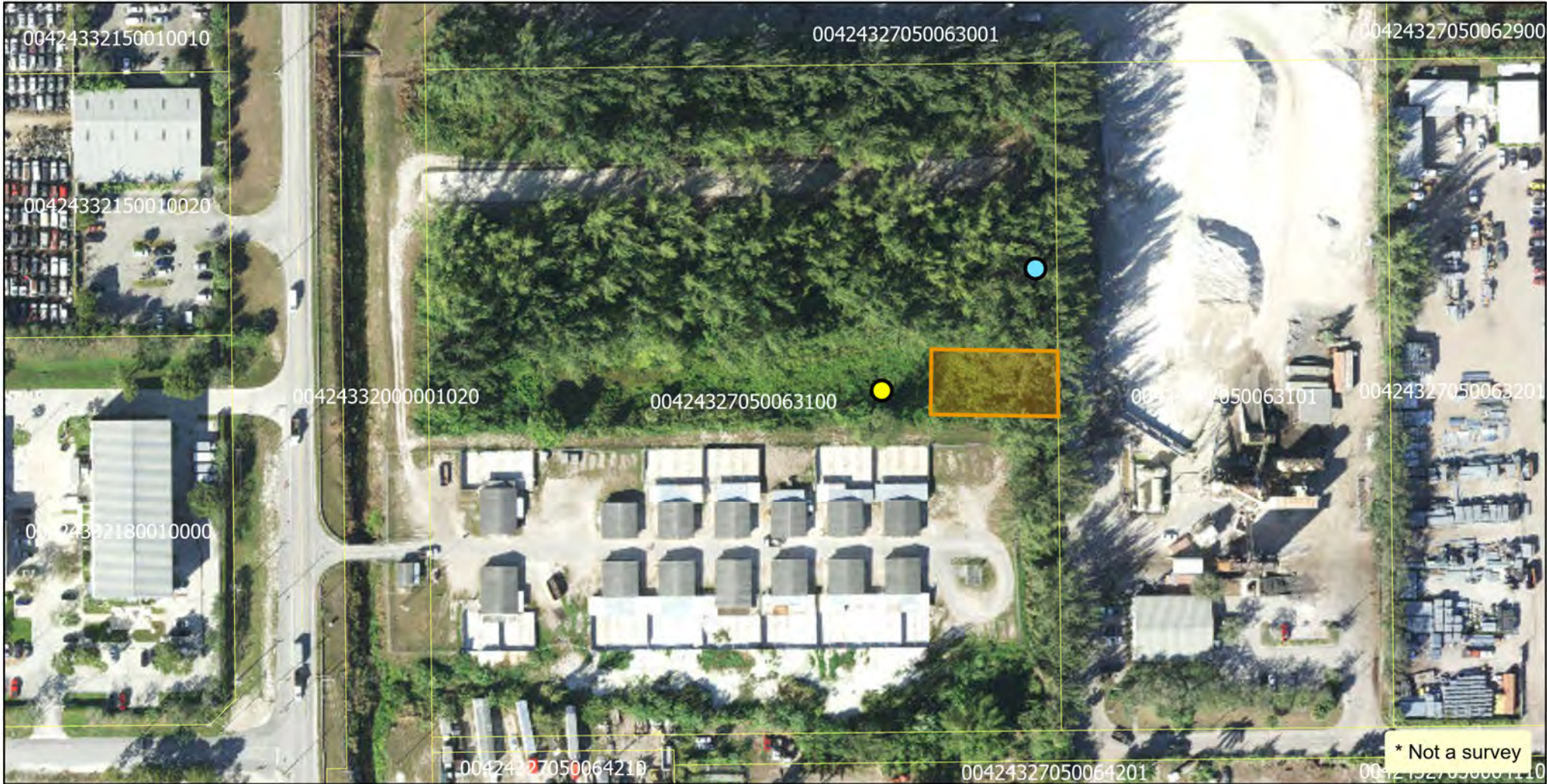



Photo 36: Wetland vegetation (*Acrostichum* spp.) within fill on Northern side of property


UNAUTHORIZED WETLAND FILL MAP


BROWN LANDHOLDING INC/ WETLAND


Site No.: 416568; Project No.: 401423



 Cadastral 2020 (Property Appraiser Parcels) - Public View

 Point 1

 Point 2

 Unauthorized Fill (~0.24 ac)

0 90 180 Feet

N



Created by FDEP
6/20/2022